

RESCODE ANALYSIS	
BUILDING AREA:	262.20m <sup>2</sup>
IMPERMEABLE AREAS:	0.00m <sup>2</sup>
SITE AREA:	514.00m <sup>2</sup>
PERMEABILITY	48.99%
SITE COVERAGE	51.01%

PROPOSED HARD PAVING	
FRONT YARD AREA:	88.34m <sup>2</sup>
CONCRETE DRIVEWAY:	56.39m <sup>2</sup>
IMPERMEABLE AREA:	63.83

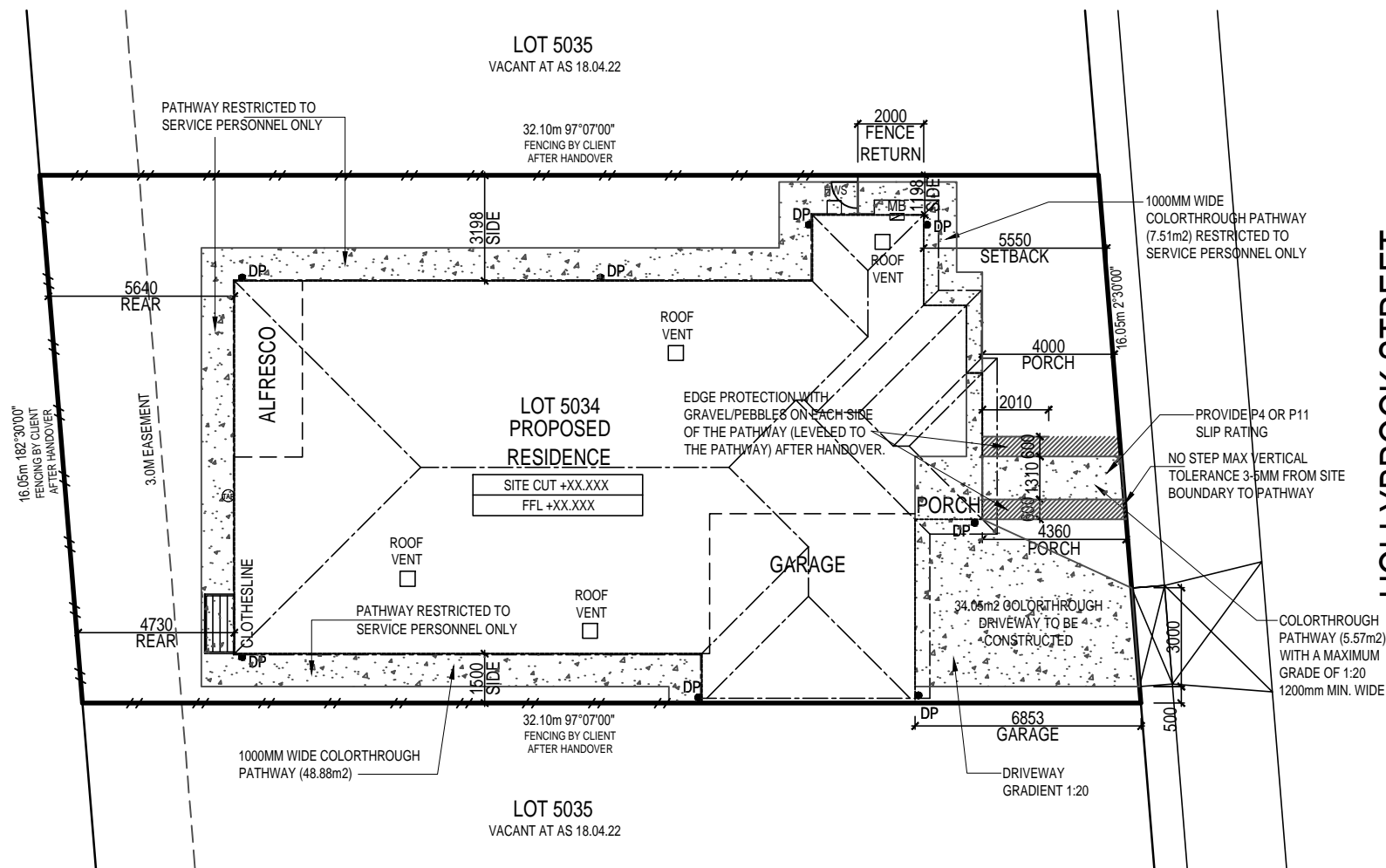
NOTE: MECHANICAL VENTILATION TO BE VENTED DIRECTLY TO THE ATMOSPHERE, IN COMPLIANCE WITH NCC PART 3.8.7.  
ENSURE EXHAUST FANS FROM BATHROOM, SANITARY COMPARTMENT & LDYR ARE DISCHARGED TO OUTSIDE AIR DIRECT

**FENCING**  
FENCING MUST BE CONSTRUCTED TO A HEIGHT OF 1.8M AND MUST NOT EXTEND PAST THE FRONT FACADE OF THE DWELLING  
SIDE AND REAR BOUNDARY FENCING MUST BE CONSTRUCTED FROM TIMBER PALINGS WITH A PLINTH

**BUSHFIRE ASSESSMENT TBA**

**NOTE**  
FENCING AND LANDSCAPING TO BE PROVIDED BY BUILDER AS PER THE ALLOWANCE PROVIDED

**NOTE**  
PROVIDE CLOTH HANGING DEVICE



HOLLYBROOK STREET

**SITE NOTES:**

**SOIL CLASSIFICATION**  
CLASS "X"  
AS PER SOIL REPORT PROVIDED BY "XXXX"  
FILE No: XXXX  
DATED: XXXX

**STORMWATER DRAIN**  
CONSTRUCT & DISCHARGE 90 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100 PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP DENOTES 100x50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIAM SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY

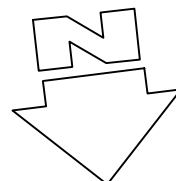
**LEVELS**  
LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT.  
ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

**GENERAL**  
-CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.  
-ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.  
-ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "BUILDING CODE OF AUSTRALIA - 2019".  
-NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.  
-WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

**EXCAVATION**  
-EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

**LEGEND:**

MB	-METER BOX	-TELSTRA PIT	-STREET LAMP
GAS	-GAS METER	-TREE	-WATER VALVE
HWS	-HOT WATER SERVICE	-STREET SIGN	-S/W PROPERTY INLET
(TAP)	-TAP	-SEWER MANHOLE	-WATER METER
(S)	-WATER HYDRANT	-ELECTRICITY PIT	-STORM WATER PIT
(S)	-SEWER VENT/IS	-ELECTRICITY POLE	



**IMPORTANT NOTES:**

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- IMPORTANT NOTE: FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS
- THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM RIDGEWATER HOMES PTY LTD.
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**PLEASE READ CAREFULLY**

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AMENDMENTS		
No.	DATE	DESCRIPTION
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B	19.05.22	MARKUP CN
C	30.05.22	MARKUP CN
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**SITE PLAN**

CUSTOM PLAN 28.8 SQ

FACADE: CUSTOM FACADE

MASTER ISSUED: 30.07.2021

SCALE: 1:200

DRAWN: CN

CHECK: CM

PAGE: 1 of 11

**CLIENT**

NEHIL A. MODI & NRUPA N. MODI  
PRAFULKUMAR D. PATEL & KALPANABEN A. PATE  
ADDRESS/ESTATE  
LOT 5034, 20 HOLLYBROOK STREET,  
MELTON SOUTH



PROPOSED HARD PAVING	
FRONT YARD AREA:	88.34m <sup>2</sup>
CONCRETE DRIVEWAY:	56.39m <sup>2</sup>
IMPERMEABLE AREA:	63.83

**NOTE**  
PLEASE NOTE THAT A TREE WIDTH AND INSTALLATION HEIGHT OF ATLEAST 2M MUST BE INSTALLED IN THE FRONT GARDEN

**NOTE**  
BRIGHTLY COLOURED OR COARSELY TEXTURED WOOD, MULCH AND BRIGHT COLOURED PEBBLES ARE NOT PERMITTED

**NOTE**  
ALL GARDEN BED AREAS WITHIN THE FRONT YARD MUST BE EDGED USING TIMBER, MASONRY OR STEEL EDGING MATERIAL

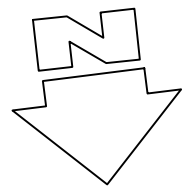
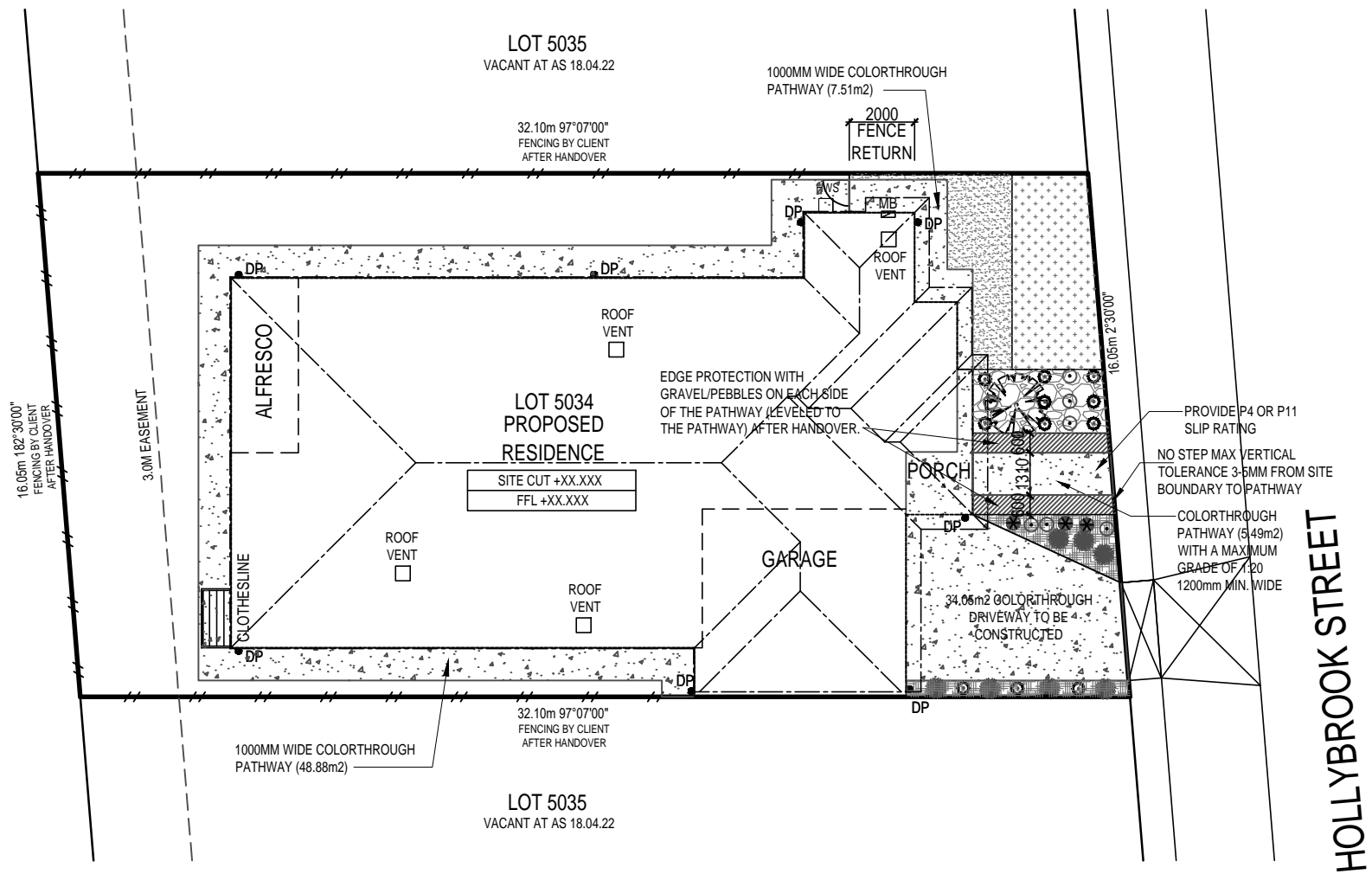
**NOTE**  
FENCING AND LANDSCAPING BY CLIENT AFTER HANDOVER TO COMPLY WITH THE DEVELOPERS GUIDELINES

**NOTE**  
PLEASE NOTE THAT ATLEAST 5 MEDIUM TO LARGE SHRUBS OF A MIN 200MM POT AND ATLEAST 20 SMALL SHRUBS OF A MIN 150MM POT MUST BE INSTALLED IN THE FRONT GARDEN

**PLANTING SCHEDULE**

BOTANICAL NAME:	SYMBOL:	FRONT No:	REAR No:
PYRUS TREE (min. 2m high)		1	00
FALSE IRIS (min. 150mm)		7	00
FLAX Green (min. 150mm)		7	00
LILLY PILLY (min. 150mm)		5	00
FLAX Brown (min. 200mm)		3	00
Total:		23	0

- PERMEABLE TOPPINGS (ROCK/PEBBLE VARIETY)
- MULCH
- INSTANT TURF
- LILYDALE TOPPINGS



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**LANDSCAPE PLAN**

CUSTOM PLAN 28.8 SQ

FACADE: CUSTOM FACADE

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**CLIENT**

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ADDRESS/ESTATE  
 LOT 5034, 20 HOLLYBROOK STREET,  
 MELTON SOUTH



**GENERAL NOTES**

- The building materials listed in the energy report are the minimum requirement needed to achieve the listed Star Rating required. All state, territory and federal, building standards and regulations still need to be adhered to.
- All insulation is to be supplied and installed as per Australian Standards and required regulations/
- Holes, tips and penetrations through sisilation, reflective foils and insulation wraps must be sealed or repaired.
- self-closing damper to all exhaust fans
- all external windows and doors are to be fitted with weather strips
- all roo lights msut be sealed or capable to be sealed
- all chimneys and flues to be fitted with self closing dampers
- insulation batts and blankets are not to be compressed when being installed and all voids must be completely filled.
- isulation is to be laid over all manhole lids, ensuring a continuous layer of insulation. No ceiling penetrations have been entered for man holes.
- glass window and glass door sizes are not to be increased
- =total system U Value - the glass windows and /or glass doors supplied must equal and / or can be less than the U-value listed in report.
- total syste, SHGC - the glass wind0ows and / or glass doors supplied should not be greatly reduced or increased (a 5% variance is acceptable) than the total system SHGC values listed in report.
- all downlights and exhaust fans that penetrate the ceiling must be sealed.

-(NCC 2019: V2 BCA) This thermal performance assessment meets the 6 star rating required as laid out in the NCC 2019, BCA V2 CClass 1 and Class 10 buildings.

-(NCC 2019: V2 BCA) it is also the responsibility of the developer, builder and/or owner builder that the following sections of the NCC 2019. BCA Volume 2, comply; 3.12.1.1 Building fabric thermal insulation; 3.12.1.2(c) & 3.12.1.4(b) Thermal breaks, 3.12.1.5(c) & 3.12.1.5(d) FFloor edge insulation & Part 3.12.3 Building Sealing.

-(NCC 2019: V2 BCA -Victoria) in the case of a new Class 1 building, it must have either a rainwater tank connected to all sanitary flushing systems or a solar water heater system.

-all downlights and exhaust fans that penetrate the ceiling msut be sealed.

**THERMAL SPECIFICATIONS:**

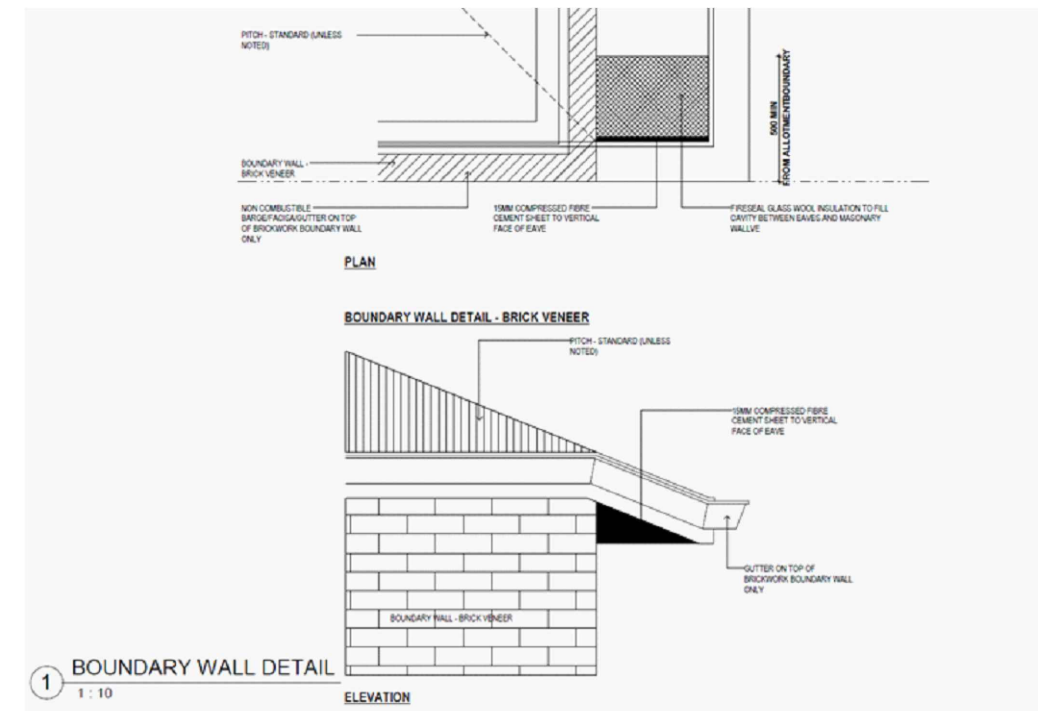
The below items are minimum requirements that must be incorporated and isntalled correctly, as per NCC 3.12, for the building to achieve the rating given. any changes to the design must be re-rated.

	BULK R VALUE	TYPE OF FOIL	NOTES
Ground Floor Insulation	RX.X	-	Waffle Slab (XXmm x XXmm)
First Floor Insulation	RX.X	-	Floor Joists (Between GF&FF)
Walls Insulation	RX.X	-	Breathable membrane to all external walls including/excluding garage
Walls int. Insulation	RX.X	-	Internal garage walls
Ceiling insulation	RX.X	-	Including/excluding garage
Windows			Single or Double Glazing throughout
Skylights			Specify size and type

ENERGY RATING  
TBA

**THERMAL SPECIFICATIONS:**

Holes, rips and penetrations through sisilation, reflective foils and insulation Wraps must be sealed or repaired and insulation batts and blankets are not to be compressed when being installed and all voids must be filled. insulation to be laid over all manhole lids, ensuring a continuous layer of insulation. No ceiling penetrations habve been entered for manholes. Total system U-value - the glass windows and /or glass doors supplied msut equal and/or can be less than the U-values listed in this report. total system SHGC ' the glass window and/or glass doors supplied should not be greatly reduced or increased (a 5% variance is acceptable) than the total system SHGC values listed in this report. All downlights and exhaust fans that penetrate the ceiling must be sealed. (NCC 2019: V2, BCA VICTORIA) in the case of a new Class 2 building, it msut have either a rainwater tank connected to all sanitary flushing systems or a solar water heater system.



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**SITE NOTES**

**CUSTOM PLAN 28.8 SQ**

FACADE: **CUSTOM FACADE**

MASTER ISSUED: 30.07.2021      SCALE: 1:200

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**CLIENT**

NEHIL A. MODI & NRUPA N. MODI  
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**ADDRESS/ESTATE**  
 LOT 5034, 20 HOLLYBROOK STREET,  
 MELTON SOUTH



**1. FALLS, SLIPS, TRIPS**

**a) WORKING AT HEIGHTS**

**DURING CONSTRUCTION**

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than three metres. However, construction of this building will require workers to be working at heights where a fall in excess of three metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than three metres is a possibility.

**DURING OPERATION OR MAINTENANCE**

For houses or other low-rise buildings where scaffolding is appropriate:  
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of three metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.  
For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of three metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

**ANCHORAGE POINTS**

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

**b) SLIPPERY OR UNEVEN SURFACES**

**FLOOR FINISHES Specified**

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

**FLOOR FINISHES By Owner**

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

**STEPS, LOOSE OBJECTS AND UNEVEN SURFACES**

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

**2. FALLING OBJECTS**

**LOOSE MATERIALS OR SMALL OBJECTS**

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

**BUILDING COMPONENTS**

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

**3. TRAFFIC MANAGEMENT**

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.  
For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.  
For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

**4. SERVICES**

**GENERAL**  
Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.  
**Locations with underground power:**  
Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.  
**Locations with overhead power lines:**  
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

**5. MANUAL TASKS**

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.  
All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.  
Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

**6. HAZARDOUS SUBSTANCES**

**ASBESTOS**  
For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: 1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

**POWDERED MATERIALS**

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

**TREATED TIMBER**

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

**VOLATILE ORGANIC COMPOUNDS**

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

**SYNTHETIC MINERAL FIBRE**

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

**TIMBER FLOORS**

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

**7. CONFINED SPACES**

**EXCAVATION**

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

**ENCLOSED SPACES**

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

**SMALL SPACES**

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

**8. PUBLIC ACCESS**

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

**9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS**

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

**NON-RESIDENTIAL BUILDINGS**

For non-residential buildings where the end-use has not been identified: This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known: This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

**10. OTHER HIGH RISK ACTIVITY**

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.  
All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.  
All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.  
Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

<b>NOTE</b>
THE WC PAN SHALL HAVE AN ADJACENT SIDE WALL (ON AT LEAST ONE SIDE OF THE WC PAN) WITH A 600MM MINIMUM LENGTH OF WALL REINFORCEMENT, FORWARD OF THE WC PAN

**NOTE :**  
Layout and fixtures to the toilet for people with disabilities will be in accordance with AS 1428.1-2010 including

1. Provide a clothes hanging device (not within 600mm to an internal corner)
2. Provision of free access space under the hand basin in accordance with figure 43 of AS 1428.1-2010
3. A pan backrest is installed complying with AS 1428.1-2009 Clause 15.2.4 capable of withstanding a force in any direction of 1100N
4. Height of seat between 460mm & 480mm above FFL
5. Provision of privacy latch where a snib catch is used, snib handles shall have a minimum length of 45mm from centre of spindle
6. Provide a Braille and tactile signage provided to sanitary facilities to comply with BCA-D3.6 by owner after handover

**NOTES :**

1. Provide separate plumbing for laundry cold water taps ready for connection to rainwater outside Living (min 1000L). Connection by owner prior to occupancy
2. Lever style hardware (as specified) to be installed at between 900-1100 AFL
3. Basins, sinks & tubs feature lever style tap hardware with a central spout
4. Ensuites to have full skirt tile throughout with 2400H wall tiles to all showers
5. 600mm minimum clearance forward of WC cisterns
6. Flooring & tiling throughout to be R10 compliant
7. Handle clearance for D-Pull style door hardware to comply with AS 1428.1.2009
8. WC centreline of pan between 450mm-460mm from nearest wall
9. Slip resistant floor finishes to extend under kitchen and laundry cabinetry
10. Automation to doors by owner
11. Maximum 5mm thresholds throughout
12. Window controls operational by 1 hand from either seated or standing position

**NOTE :**  
EXCEPT FOR WALLS CONSTRUCTED OF MASONRY OR CONCRETE, THE INTERNAL SIDE OF THE FULL SANITARY ROOM WITH THE REQUIRED WC PAN, SHOWER, HANDWASH BASIN AND FIXED BATHTUB (IF PROVIDED) SHALL HAVE WALL REINFORCEMENT OF MINIMUM 12MM THICK SHEETING, FROM FFL AND EXTENDING TO A HEIGHT OF MINIMUM 2100MM FROM FFL

**NOTES :**

- A. EXCEPT FOR WALLS CONSTRUCTED OF SOLID MASONRY OR CONCRETE, THE WALLS AROUND THE SHOWER, BATH (IF PROVIDED) AND TOILET SHOULD BE REINFORCED TO PROVIDE A FIXING SURFACE FOR THE SAFE INSTALLATION OF GRABRAILS
- B. THE WALLS AROUND THE TOILET ARE TO BE REINFORCED BY INSTALLING NOGGINS WITH A THICKNESS OF AT LEAST 25MM
- C. THE WALLS AROUND THE BATH ARE TO BE REINFORCED BY INSTALLING NOGGINS WITH A THICKNESS OF AT LEAST 25MM
- D. THE WALLS AROUND THE HOBLESS SHOWER RECESS ARE TO BE REINFORCED BY NOGGINS WITH A THICKNESS OF AT LEAST 25MM.

**THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.**

**THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.**

IMPORTANT NOTES:
<ol style="list-style-type: none"> <li>1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.</li> <li>2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.</li> <li>3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.</li> <li>4. IMPORTANT NOTE: FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME</li> <li>5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS</li> <li>6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM RIDGEWATER HOMES PTY LTD.</li> <li>7. THESE DRAWINGS AND ASSOCIATED DOCUMENTATION IS OWNED BY AND (C) COPYRIGHT - RIDGEWATER HOMES PTY LTD.</li> </ol>

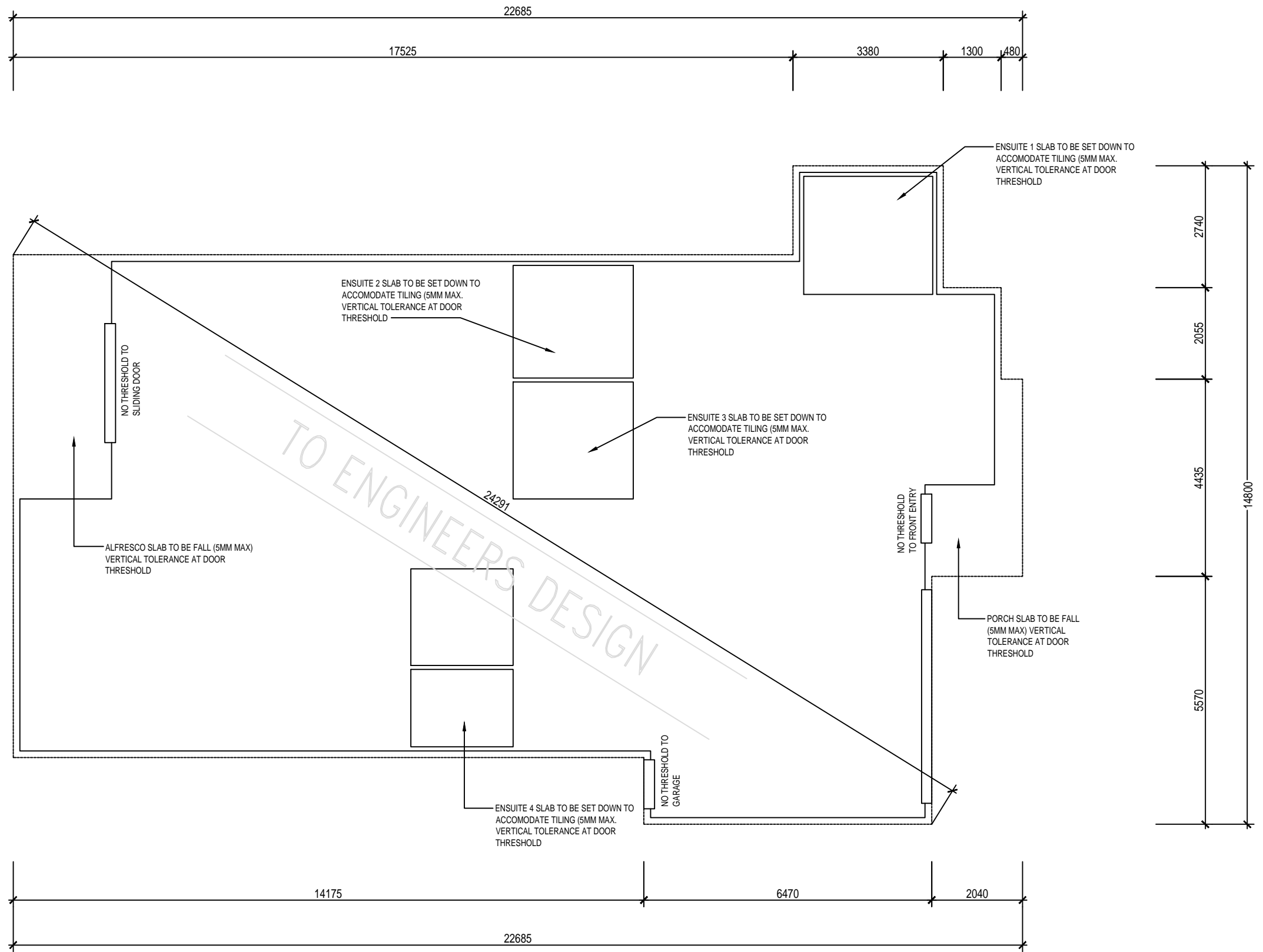
PLEASE READ CAREFULLY
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C	30.05.22	MARKUP CN
D	06.06.22	MARKUP CN
E	18.06.22	MARKUP CN

GENERAL NOTES	
CUSTOM PLAN 28.8 SQ	
FACADE: CUSTOM FACADE	
MASTER ISSUED: 30.07.2021	SCALE: 1:200
DRAWN: CN	PAGE: 1C of 11
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CLIENT	
NEHIL A. MODI & NRUPA N. MODI	
PRAFULKUMAR D. PATEL & KALPANABEN A. PATE	
ADDRESS/ESTATE	
LOT 5034, 20 HOLLYBROOK STREET, MELTON SOUTH	

	<p><b>RIDGEWATER HOMES</b></p>
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**NOTE:**  
-REFER TO PAGE 2B FOR SLAB PENETRATIONS.

IMPORTANT NOTES:
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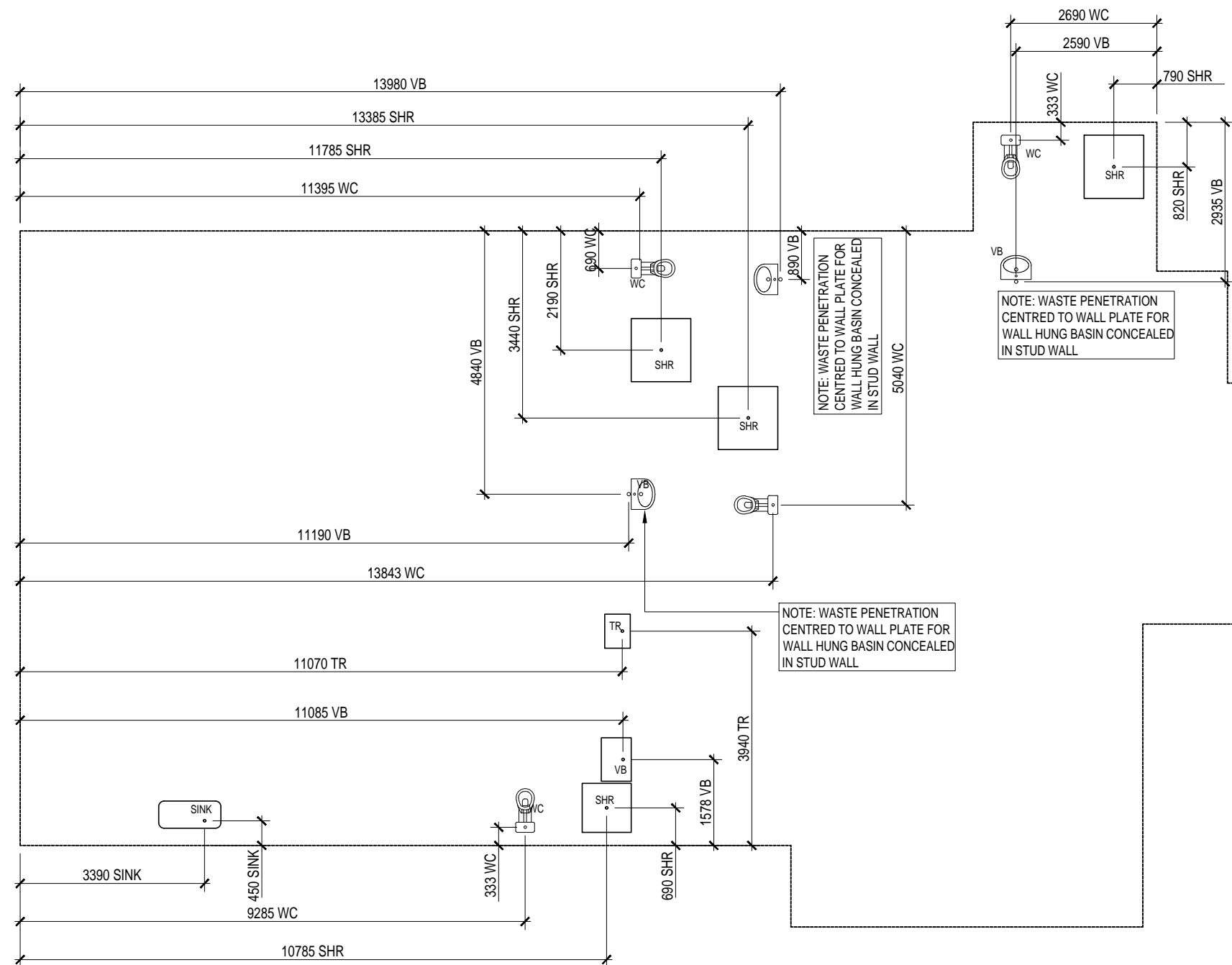
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SLAB PLAN	
CUSTOM PLAN 28.8 SQ	
FACADE: CUSTOM FACADE	
MASTER ISSUED: 30.07.2021	SCALE: 1:100
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ADDRESS/ESTATE
LOT 5034, 20 HOLLYBROOK STREET, MELTON SOUTH





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**HYDRAULICS PLAN**

**CUSTOM PLAN 28.8 SQ**

FACADE: **CUSTOM FACADE**

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 MELTON SOUTH

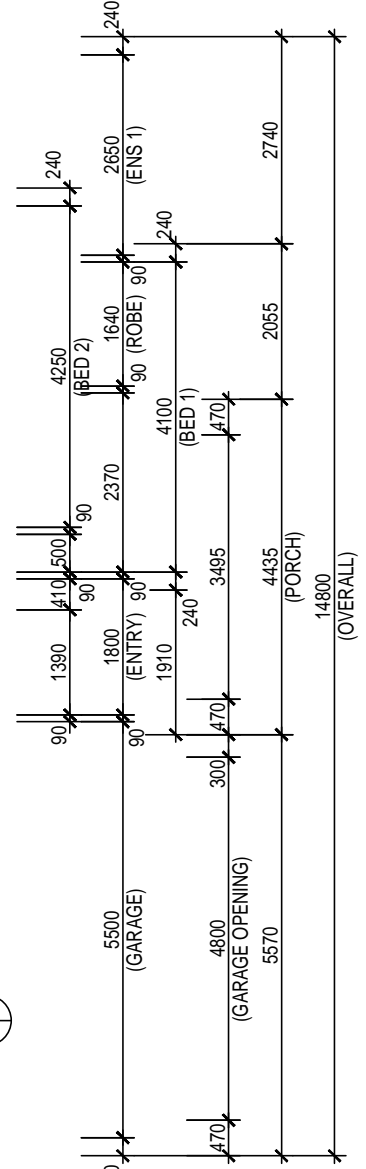
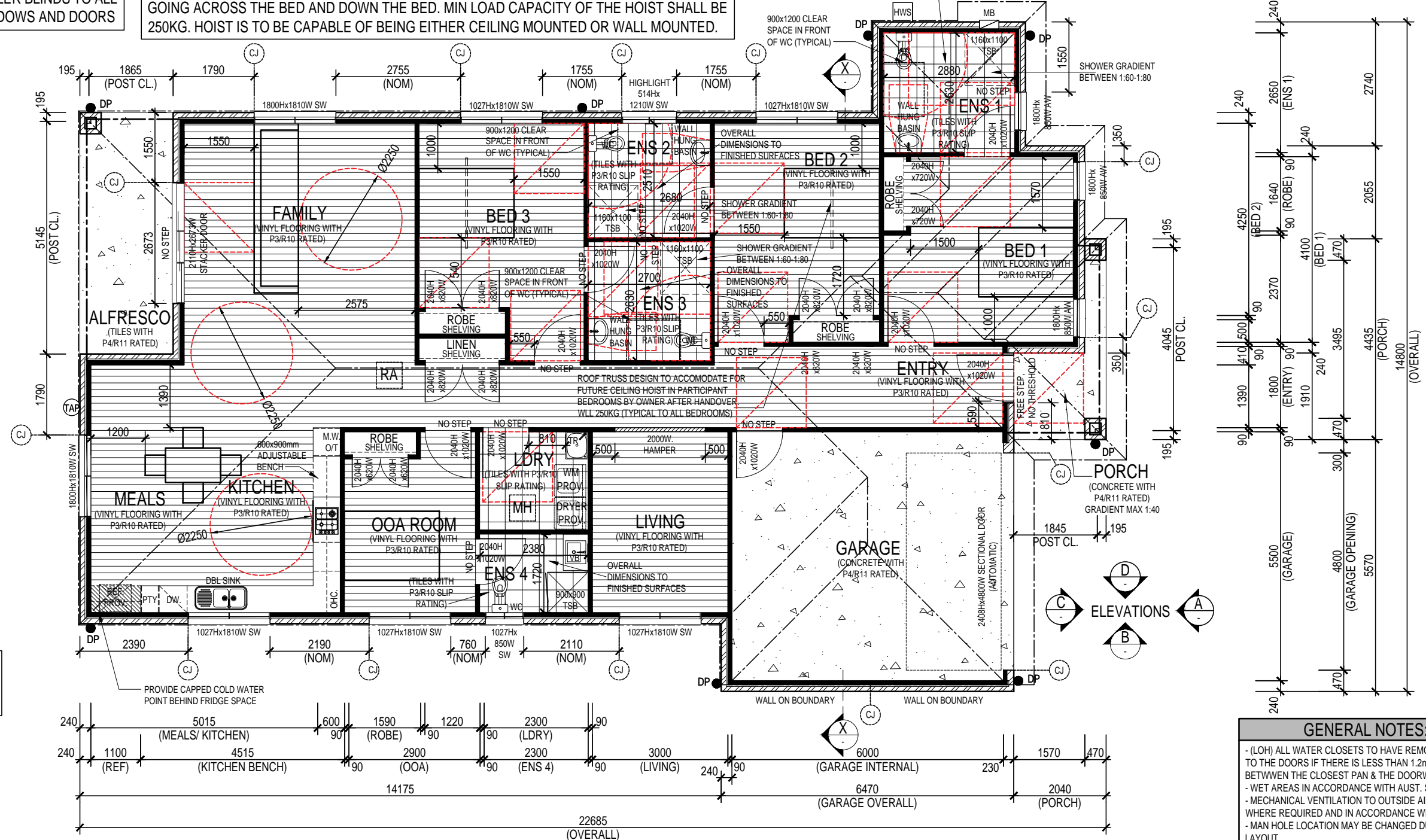
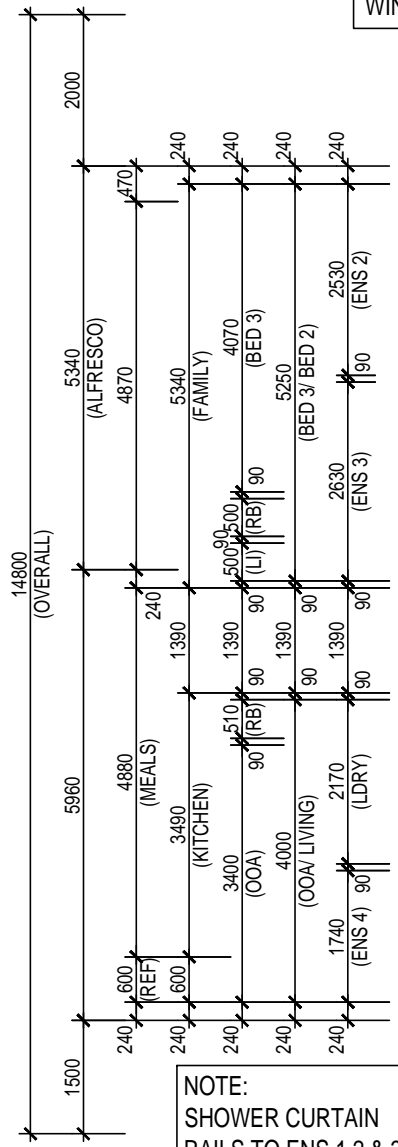


AREA SCHEDULE		
GROUND FLOOR:	209.97m <sup>2</sup>	22.60sq
GARAGE:	36.12m <sup>2</sup>	3.89sq
PORCH:	5.11m <sup>2</sup>	0.55sq
ALFRESCO:	11.00m <sup>2</sup>	1.18sq
TOTAL:	262.20	28.22sq

WINDOW CONTROLS SHALL BE LOCATED WITHIN EASY REACH FROM EITHER A SEATED OR STANDING POSITION (BETWEEN 600MM TO 1100MM ABOVE FFL).  
NOTE: CONCESSION IS REASONABLE IN KITCHEN, BATHROOM AND UTILITY SPACES.

PROVIDE MOTORISED ROLLER BLINDS TO ALL WINDOWS AND DOORS

BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST. THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED. MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG. HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED.



NOTE: SHOWER CURTAIN RAILS TO ENS 1, 2 & 3

LEGEND:	
	-INDICATES BULKHEADS & HAMPERS, TO BE 290mm FROM CEILING LEVEL. (MAX. 3000mm WIDE OPENINGS)
	-FRIDGE BULKHEAD ALWAYS @ 2350H.
	-CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001.
	-HOT WATER SERVICE
	-METER BOX
	-GAS METER

PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS

LOCKS TO ALL OPENABLE WINDOWS

2040MM HIGH INTERNAL DOORS THROUGHOUT

ALL INTERNAL DOORWAYS SHALL HAVE A LEVEL (STEP FREE) TRANSITION & THRESHOLD (MAX VERTICAL TOLERANCE OF 3MM VERTICAL OR 5MM ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED)

**GENERAL NOTES:**

- (LOH) ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE CLOSEST PAN & THE DOORWAY.
- WET AREAS IN ACCORDANCE WITH AUST. STANDARD 3740
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5
- MAN HOLE LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT
- RETURN AIR LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT
- ALL DIMENSIONS ARE TO STUD FRAME. PLASTER AND SKIRTING BOARDS NOT CONSIDERED.

**IMPORTANT NOTES:**

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**GROUND FLOOR PLAN**

CUSTOM PLAN 28.8 SQ

FAÇADE: CUSTOM FAÇADE

MASTER ISSUED: 30.07.2021

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PAGE: 4 of 11

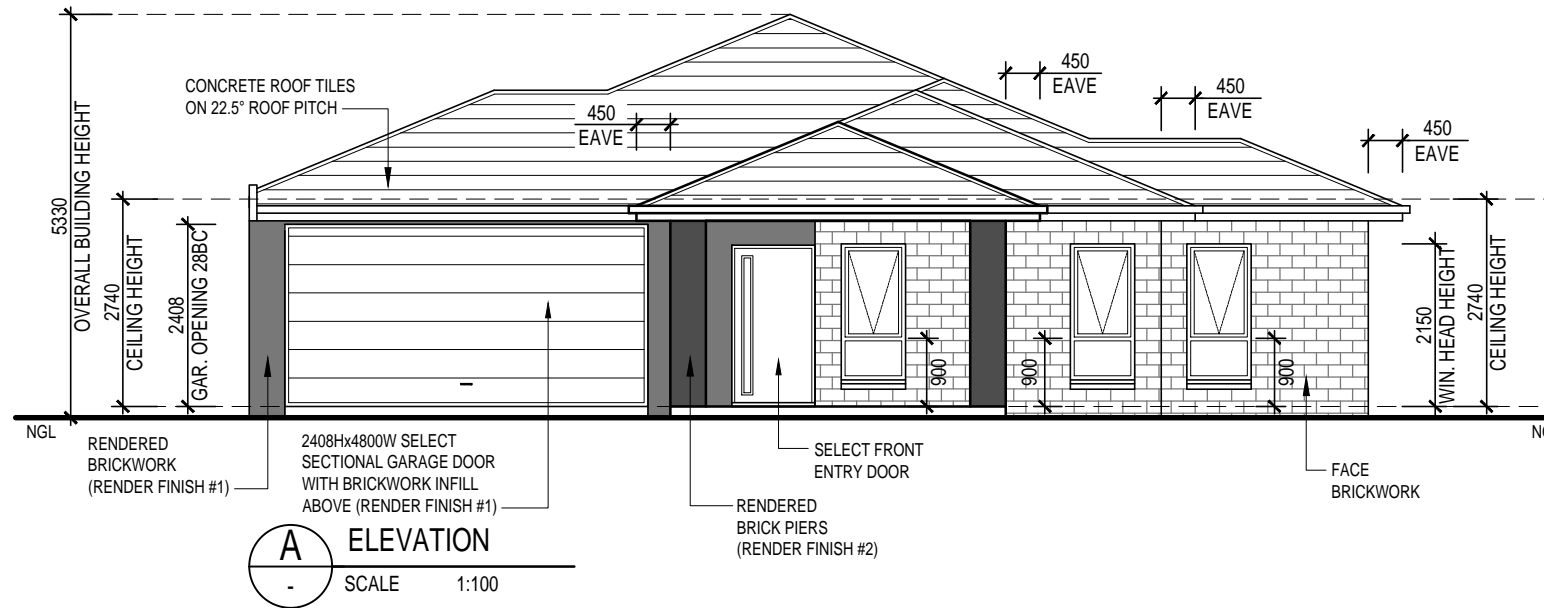
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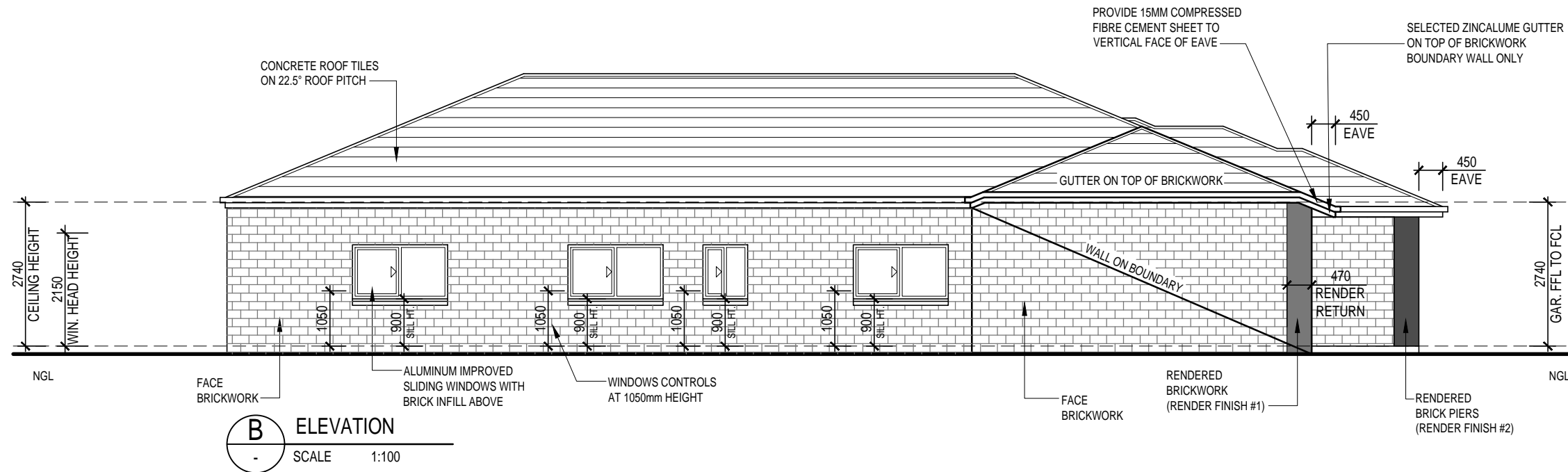
ADDRESS/ESTATE  
LOT 5034, 20 HOLLYBROOK STREET,  
MELTON SOUTH



MATERIAL ANALYSIS		
RENDER 1:	3.08m <sup>2</sup>	15.40%
RENDER 2:	4.30m <sup>2</sup>	21.50%
FACE BRICKWORK:	12.62m <sup>2</sup>	63.10%
TOTAL:	20.00m <sup>2</sup>	100.00%



ELEVATIONS LEGEND:	
	- RENDERED BRICKWORK (RENDER FINISH #1)
	- RENDERED BRICKWORK (RENDER FINISH #2)
	- RENDERED FOAM (RENDER FINISH #1)
	- RENDERED FOAM (RENDER FINISH #2)
	- RENDERED BLUEBOARD (RENDER FINISH #1)
	- RENDERED BLUEBOARD (RENDER FINISH #2)
	- PAINTED FC SHEET (PAINT COLOUR #1)
	- PAINTED FC SHEET (PAINT COLOUR #2)



**GENERAL NOTES:**

- CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001.
- ENGINEERS DOCUMENTATION REGARDING CONTROL JOINTS OVER-RIDES THESE DRAWINGS.
- DIMENSIONS RELATING TO FFL & FCL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS NOT ACTUAL CEILING HEIGHTS.

**WINDOW HEAD HEIGHTS:**

- WINDOW HEAD HEIGHTS MEASURED FROM THE FINISHED FLOOR LEVEL (SLAB) OF THE HOUSE.
- ALL WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.
- REFER TO TABLE BELOW FOR WINDOW HEAD HEIGHTS UNLESS SPECIFIED OTHERWISE ON THE ELEVATIONS

ANY PITCH - NO EAVES	2150mm/25 COURSES
22.5° PITCH - 450 EAVES	2150mm/25 COURSES
25° PITCH - 450 EAVES	2120mm

**IMPORTANT NOTES:**

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**ELEVATIONS**

CUSTOM PLAN 28.8 SQ

FAÇADE: CUSTOM FAÇADE

MASTER ISSUED: 30.07.2021

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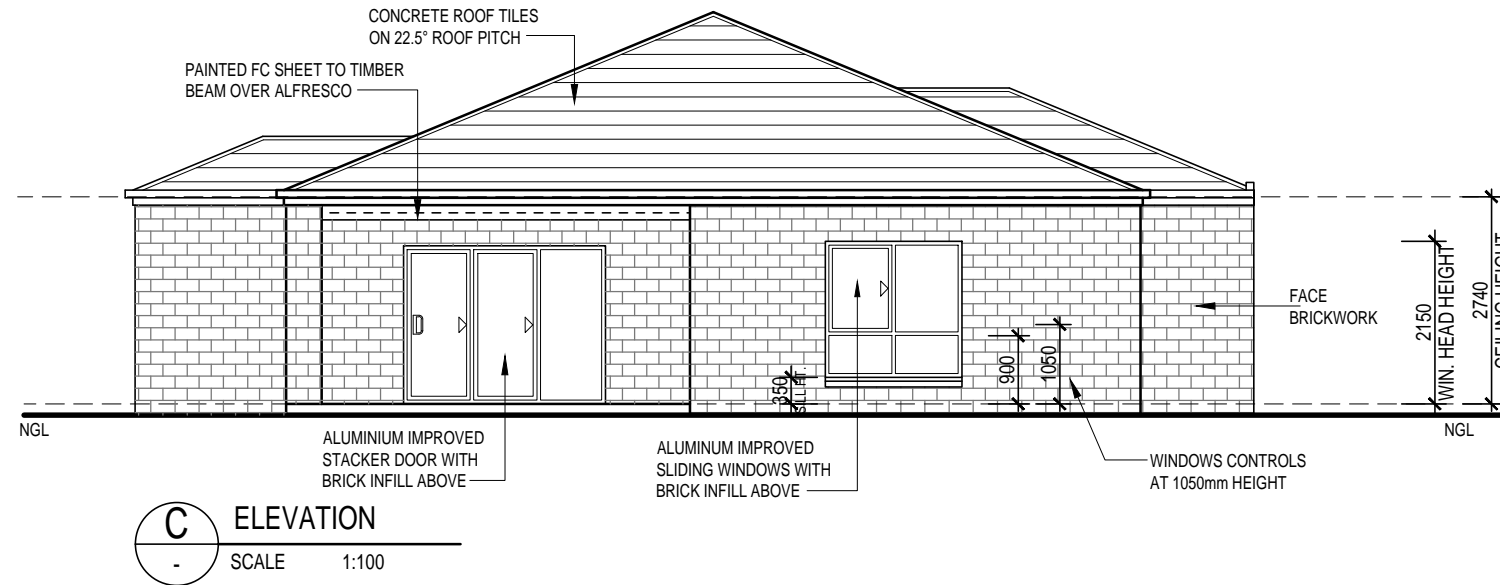
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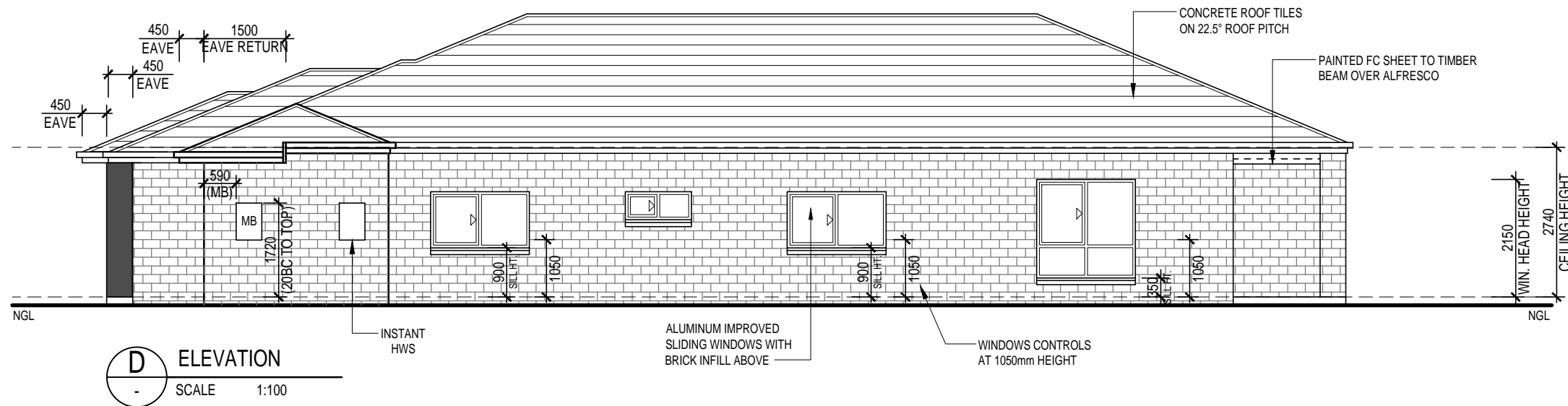




**C** ELEVATION  
SCALE 1:100

**ELEVATIONS LEGEND:**

- RENDERED BRICKWORK (RENDER FINISH #1)
- RENDERED BRICKWORK (RENDER FINISH #2)
- RENDERED FOAM (RENDER FINISH #1)
- RENDERED FOAM (RENDER FINISH #2)
- RENDERED BLUEBOARD (RENDER FINISH #1)
- RENDERED BLUEBOARD (RENDER FINISH #2)
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**D** ELEVATION  
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25° PITCH - 450 EAVES	2120mm

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**ELEVATIONS**

**CUSTOM PLAN 28.8 SQ**

FAÇADE: **CUSTOM FAÇADE**

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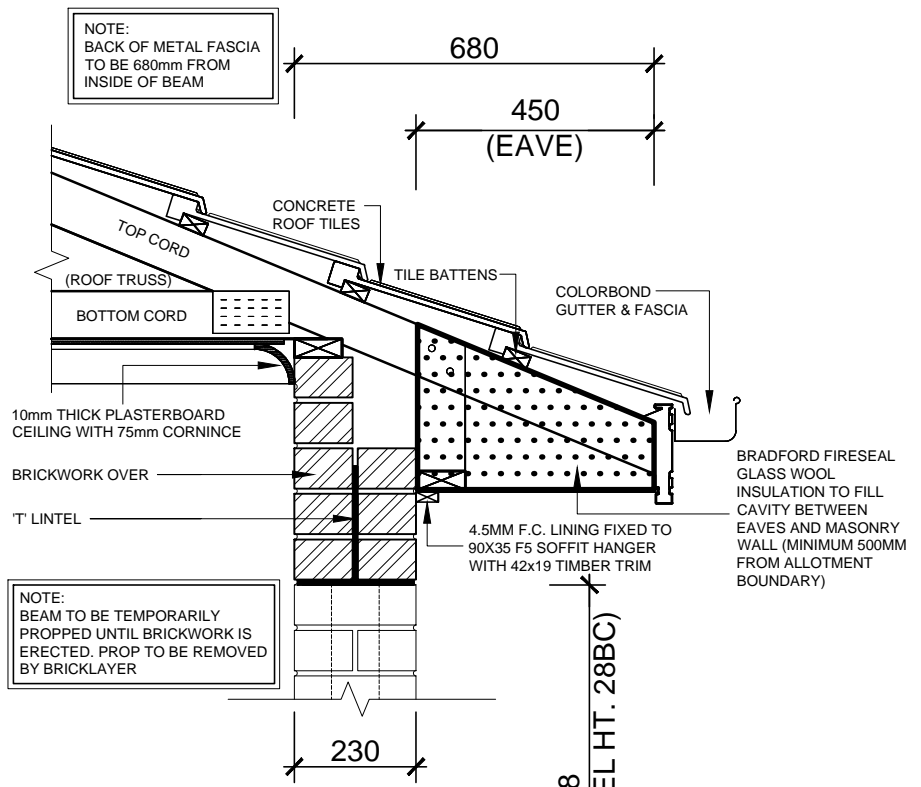
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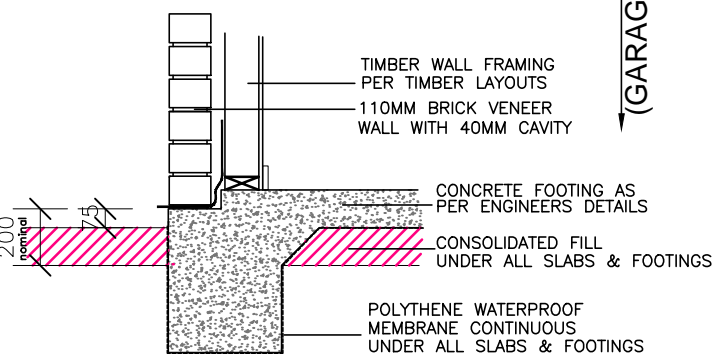
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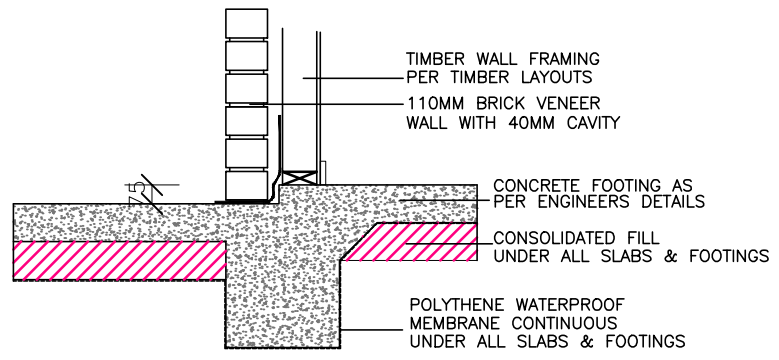




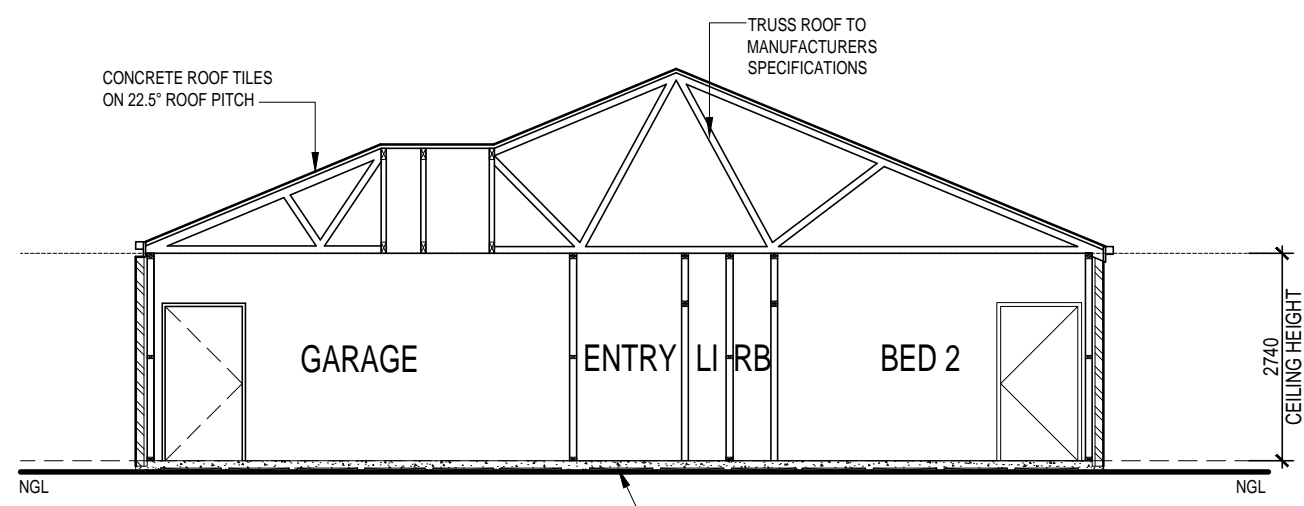
**GARAGE OPENING (BRICK INFILL)**  
SCALE 1:10



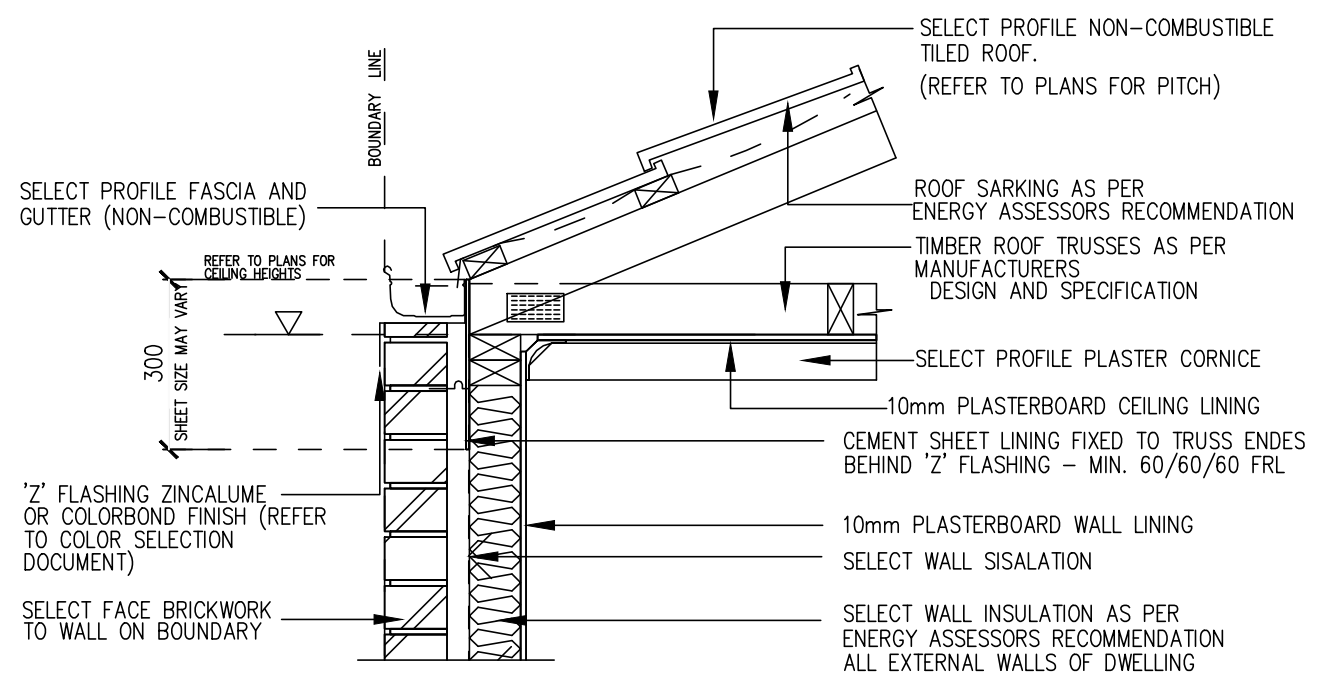
**Typical Footing Detail**  
scale 1 : 20



**Typical Footing Detail**  
scale 1 : 20



**SECTION**  
SCALE 1:100



**BOUNDARY WALL DETAIL**  
SCALE 1:10

**TIMBER SCHEDULE:**

V.01 5/7/16  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH:  
- THE ENGINEERS DRAWINGS & COMPUTATIONS  
- TRUSS MANUFACTURERS DRAWINGS & COMPUTATIONS  
FOR ALL TIMBER SIZES REFER TO THE TIMBER FRAMING MANUAL AS 1684

**SINGLE STOREY WALLS:**  
BOTTOM PLATES - 90x35 MGP10  
TOP PLATES - 90x35 MGP10 (2No. FOR EXT. WALLS)  
RIBBON PLATES - 90x35 MGP10 (EXT. WALLS & INT. LBW ONLY)  
STUDS - 90x35 F5 @ MAX. 600 ctrs  
JAMB STUDS - 90x35 MGP10. 1-3No. @ OPENINGS \*\*  
NOGGINGS - 70x35 F5/MERCH

**DOUBLE STOREY WALLS:**  
BOTTOM PLATES - 90x35 MGP10 (GROUND FLOOR)  
BOTTOM PLATES - 90x45 MGP10 (FF 2No. FOR INT. WALLS)  
TOP PLATES - 90x35 MGP10 (2No. FOR EXT. WALLS)  
RIBBON PLATES - 90x35 MGP10 (EXT. WALLS & INT. LBW)  
STUDS (GF) - 90x35 F5 @ MAX. 450 ctrs  
STUDS (FF) - 90x35 F5 @ MAX. 600 ctrs  
JAMB STUDS (GF) - 90x35 MGP10. 1-3No. @ OPENINGS \*\*  
JAMB STUDS (FF) - 90x35 F5-MGP10. 1-3No. @ OPENINGS \*\*  
NOGGINGS - 70x35 F5/MERCH

PROVIDE METAL TENSION BRACING TO ALL WALLING (USE STRUCTURAL MASONITE WHERE METAL BRACE NOT PRACTICAL)

\*\* - MEMBERS TO CODE OR UNLESS SPECIFIED BY ENGINEER SPECIFICATIONS

**ROOFS:**  
REFER TO TRUSS LAYOUT AND MANUFACTURERS COMPUTATIONS

**LINTELS UP TO OVERALL TOTAL ROOF WIDTH OF 8300mm:**  
LINTELS AS PER A.S. 1684

0mm TO 600mm	- 90x45 MGP10
601mm TO 1200mm	- 140x45 MGP10
1201mm TO 1800mm	- 190x45 MGP10
1801mm TO 2100mm	- 240x45 F17 KDHW
2101mm TO 2400mm	- 240x45 F17 KDHW
2401mm TO 2700mm	- 240x45 F17 KDHW
2701mm TO 3000mm	- 2/240x45 F17 KDHW
3001mm TO 3600mm	- 240x45 F17 LVL
3601mm TO 4200mm	- 2/240x45 F17 LVL
4200mm TO 6000mm	- 360X63 HYPSPAN LVL

**LINTELS UP TO OVERALL TOTAL ROOF WIDTH OF 10500mm:**  
LINTELS AS PER A.S. 1684

0MM TO 600MM	- 90x45 F5 MGP10
601MM TO 1200MM	- 140x45 MGP10
1201MM TO 1800MM	- 240x45 MGP10
1801MM TO 2100MM	- 240x45 F17 KDHW
2101MM TO 2400MM	- 240x45 F17 KDHW
2401MM TO 2700MM	- 2/240x45 F17 KDHW
2701MM TO 3000MM	- 2/240x45 F17 KDHW
3001MM TO 3600MM	- 240x45 F17 LVL
3601MM TO 4200MM	- 2/240x45 F17 LVL
4200MM TO 6000MM	- 360X63 HYPSPAN LVL

**LINTELS UP TO OVERALL TOTAL ROOF WIDTH OF 13500mm:**  
LINTELS AS PER A.S. 1684

0MM TO 600MM	- 140x45 MGP10
601MM TO 1200MM	- 140x45 MGP10
1201MM TO 1800MM	- 240x45 MGP10
1801MM TO 2100MM	- 240x45 F17 KDHW
2101MM TO 2400MM	- 240x45 F17 KDHW
2401MM TO 2700MM	- 2/240x45 F17 KDHW
2701MM TO 3000MM	- 2/240x45 F17 KDHW
3001MM TO 3600MM	- 240x45 F17 LVL
3601MM TO 4200MM	- 2/240x45 F17 LVL
4200MM TO 6000MM	- 360X63 HYPSPAN LVL

**STEEL SCHEDULE:**

ANGLE LINTELS TO BRICKWORK ABOVE WINDOW OPENINGS:  
0 - 2400mm - 100x100x6.0 DURAGAL  
2401mm TO 2700mm - 150x100x6.0 DURAGAL

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**SECTION**

**CUSTOM PLAN 28.8 SQ**

FACADE: **CUSTOM FACADE**

MASTER ISSUED: 30.07.2021  
SCALE: AS SHOWN

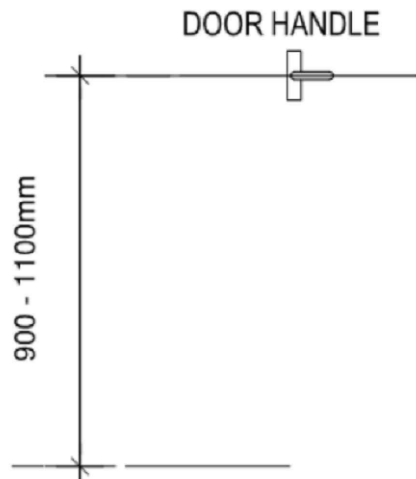
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PAGE: 7 of 11

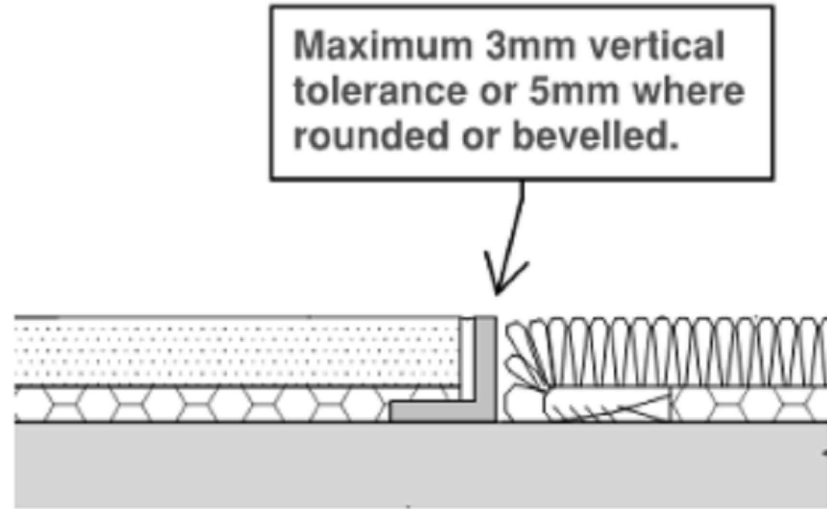
**CLIENT**

NEHIL A. MODI & NRUPA N. MODI  
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ADDRESS/ESTATE  
LOT 5034, 20 HOLLYBROOK STREET,  
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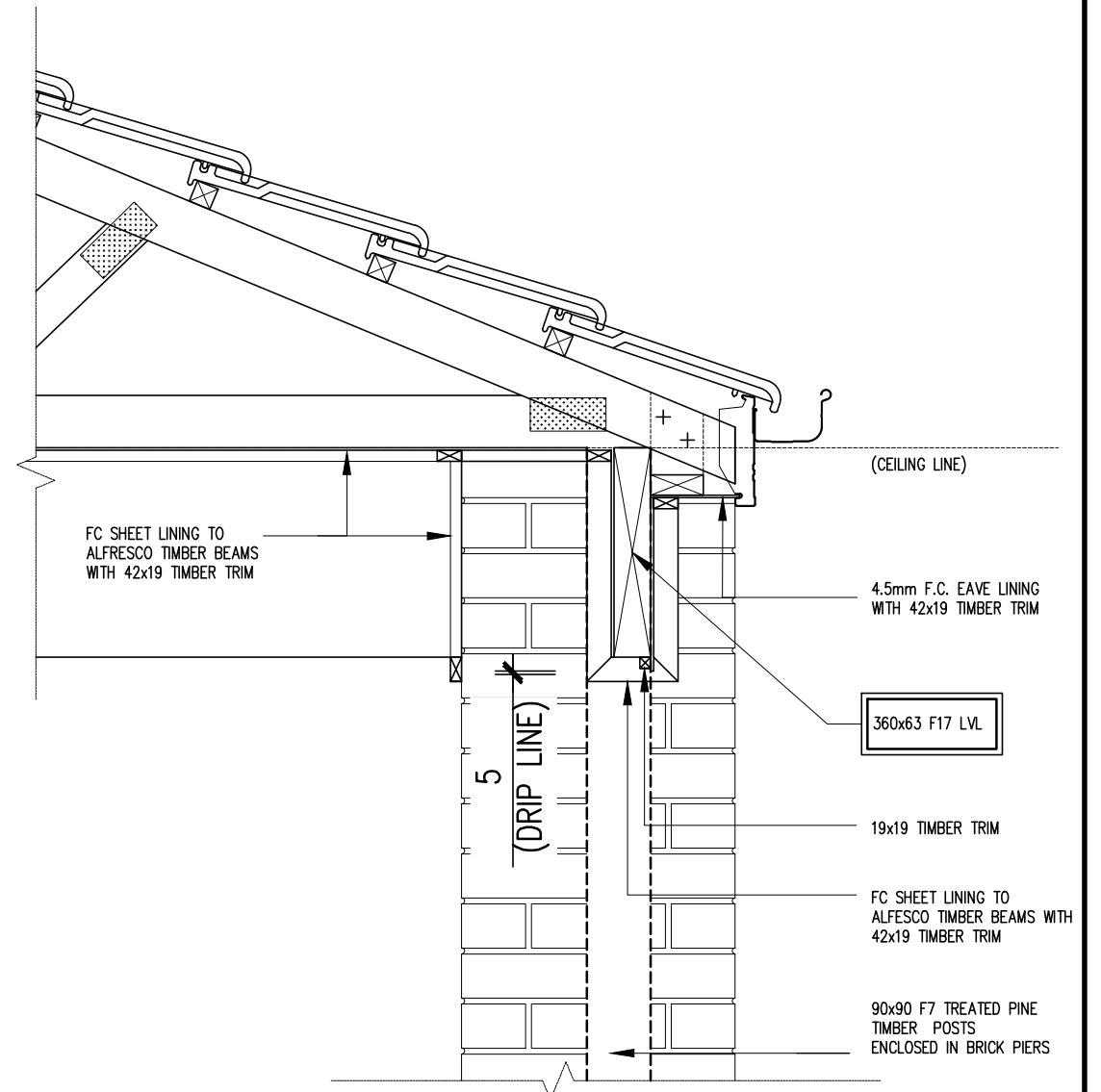




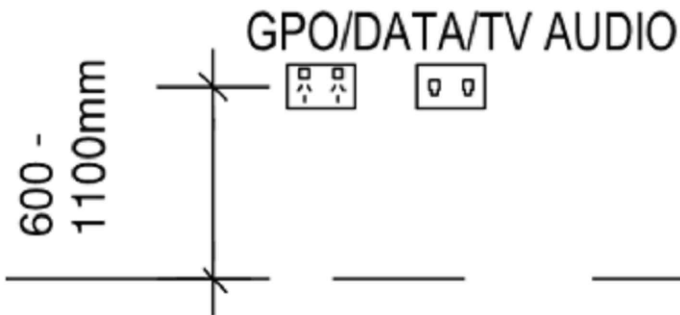
TYPICAL DOOR HANDLE DETAIL (D TYPE DOOR HANDLE)  
SCALE 1:100



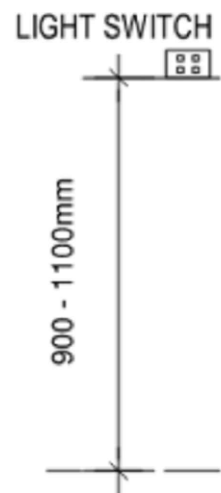
TYPICAL SECTION DETAIL OF FLOOR FINISH  
SCALE 1:100



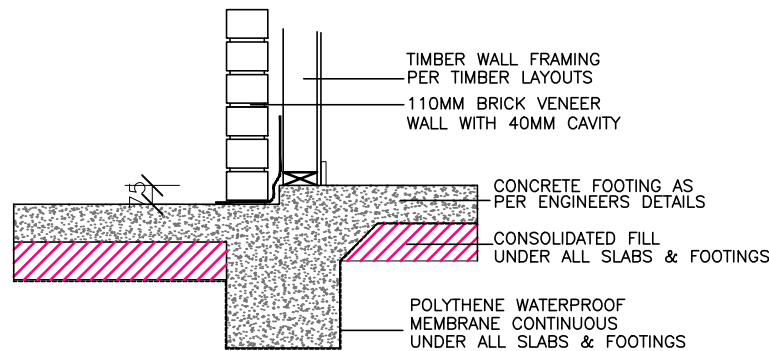
ALFRESCO DETAIL (TYPICAL)  
SCALE 1:10



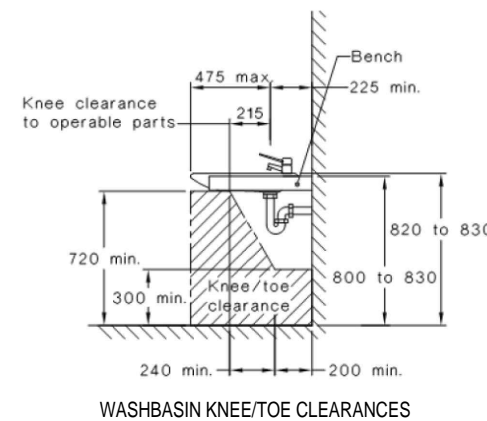
TYPICAL SECTION DETAIL DIMENSIONING THE HEIGHT OF GPO'S  
SCALE 1:100



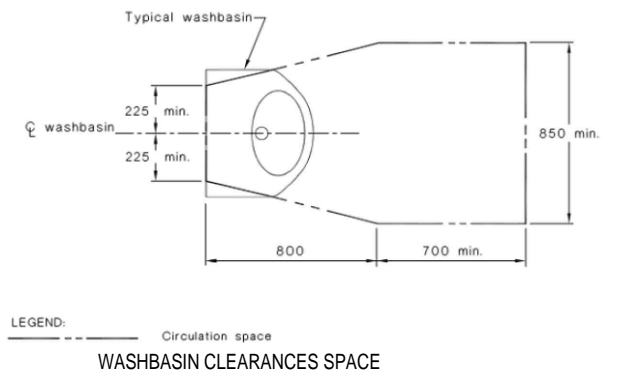
TYPICAL SECTION DETAIL OF LIGHT SWITCHES  
SCALE 1:100



Typical Footing Detail  
scale 1 : 20



WASHBASIN KNEE/TOE CLEARANCES



LEGEND: Circulation space  
WASHBASIN CLEARANCES SPACE

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**DETAILS**

**CUSTOM PLAN 28.8 SQ**

FACADE: **CUSTOM FACADE**

MASTER ISSUED:  
30.07.2021

SCALE: AS SHOWN

DRAWN: CN

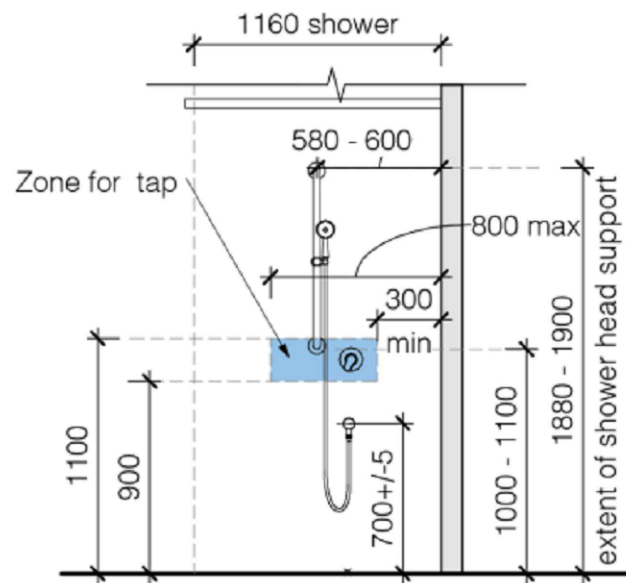
CHECK: CM

PAGE: 7A of 11

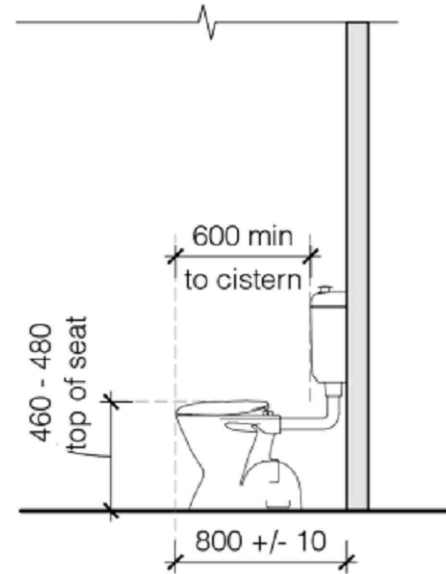
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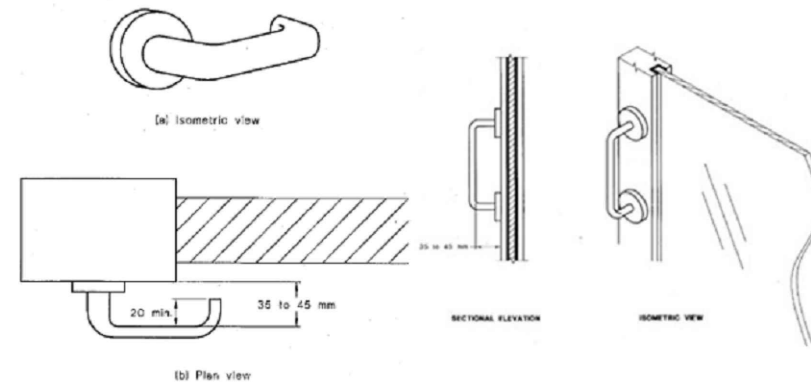




FIXTURES ASSOCIATED WITH SHOWER

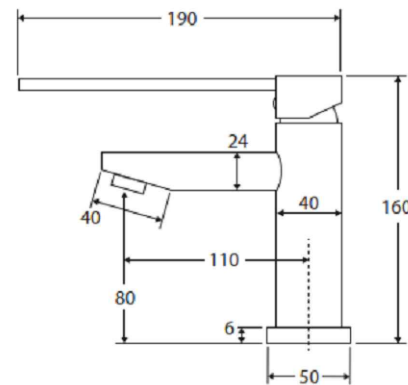


SET OUT OF ACCESSIBLE WC PAN

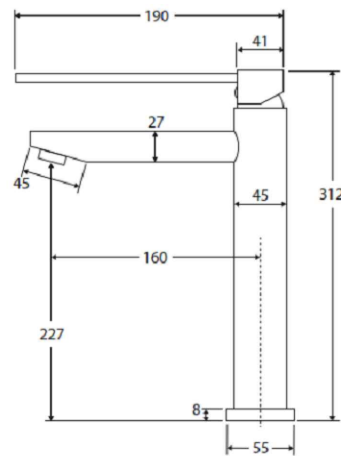


DOOR HANDLE DETAIL

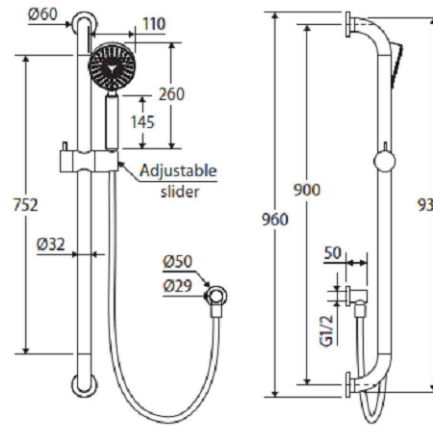
LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTANT LOCATION AND SHALL BE HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.



WASHBASIN TAP



KITCHEN TAP



RAIL SHOWER

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 ADDRESS/ESTATE  
 LOT 5034, 20 HOLLYBROOK STREET,  
 MELTON SOUTH



### ARTIFICIAL LIGHTING

PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 2014 3.12.5.5  
 THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING EXCLUDING HEATERS THAT EMIT LIGHT MUST NOT EXCEED  
 -DWELLING- 5W/M2  
 -VERANDAH, BALCONY, PORCH - 4W/M2  
 -GARAGE - 3W/M2  
 WHERE ILLUMINATION POWER DENSITY IS USED IT MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR IN TABLE 3.12.5.3 WHERE APPLICABLE

ARTIFICIAL LIGHT AROUND THE PERIMETER OF A BUILDING MUST

- BE CONTROLLED BY A DAYLIGHT SENSOR OR
- HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF LESS THAN 40 LUMENS/W

ALL SMOKE DETECTORS ARE TO BE INTERCONNECTED

ALL DOWNLIGHTS ARE TO BE NON VENTED AND SEALED

PROVIDE DIMMERS TO ALL BED LIGHTS

PROVIDE GPOs TO ALL BED, ENSUITE, GARAGE, ENTRY & ALFRESCO DOORS FOR FUTURE AUTOMATION.  
 GPOs TO BE PLACED ABOVE THE DOORS TOWARD THE HINGE SIDE

POWER AND CONTROL CABLING TO WINDOWS OF BEDROOMS AND LIVING AREAS SHALL BE PROVIDED FOR FUTURE WINDOW BLIND AUTOMATION. A CAPPED GPO AT THE WINDOW HEAD MAY BE PROVIDED TO COMPLY WITH THIS REQUIREMENT

ALL DGPO'S AND SWITCHBOARDS TO BE INSTALLED AT 1000MM HIGH

INTERCOM PROVISION TO BE PROVIDED TO BE CONNECTED TO ROOMS WITH SCREEN IN BED 1 CLIENTS TO INSTALL AFTER HANDOVER

PROVIDE REVERSE CYCLE AIR-CONDITIONING TO THE BEDROOMS AND LIVING AREAS

LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION, TOGGLE OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH OF 35MM.

POWER BACKUP PROVISION WILL BE PROVIDED TO THE GARAGE CLIENT TO INSTALL BACK UP SOLUTION AFTER HANDOVER  
 POWER BACK SOLUTION WILL PROVIDE MINIMUM 2 HOURS OF BACK UP POWER TO NO LESS THAN 2 DGPOS IN PARTICIPANT BEDROOMS & ANY PROVIDED AUTOMATED DOORS THAT ARE USED FOR ENTRY OR EGRESS

PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 3.12.5.5				
AREA	AREA (M2)	No OF LIGHTS (10W)	TOTAL PROPOSED WATTAGE (W)	WATTS PER M2
DWELLING	209.97	32	320	1.52
GARAGE	36.12	1	10	0.03
PORCH/ALFRESCO	16.10	2	20	1.24

### NOTE

ALL THE LOCATIONS ARE INDICATIVE AND MAY BE ALTERED TO SUIT ON SITE CONDITIONS WITHOUT PRIOR NOTICE

ANY CHANGES TO LIGHTING LOCATIONS MAY RESULT IN NON COMPLIANCE AND SHOULD ONLY BE ALTERED WITH PRIOR NOTICE.

ALARM SYSTEM WITH 3 PIR READERS

POWER BACK UP SOLUTION WILL BE IN SITU FOR FINAL INSPECTION

### ELECTRICAL SCHEDULE

TYPE	STANDARD INCLUSIONS	ADDITIONAL UPGRADES
LED DOWNLIGHT	30	5
INTERNAL BATTEN LIGHT	0	0
POWERPOINTS	35	0
TV POINTS	2	0
PHONE POINTS	2	0
DATA POINTS	1	0
EXTERNAL BATTEN LIGHTS	0	0
FLOOD LIGHTS	1	0

### GLASS AND GLAZING

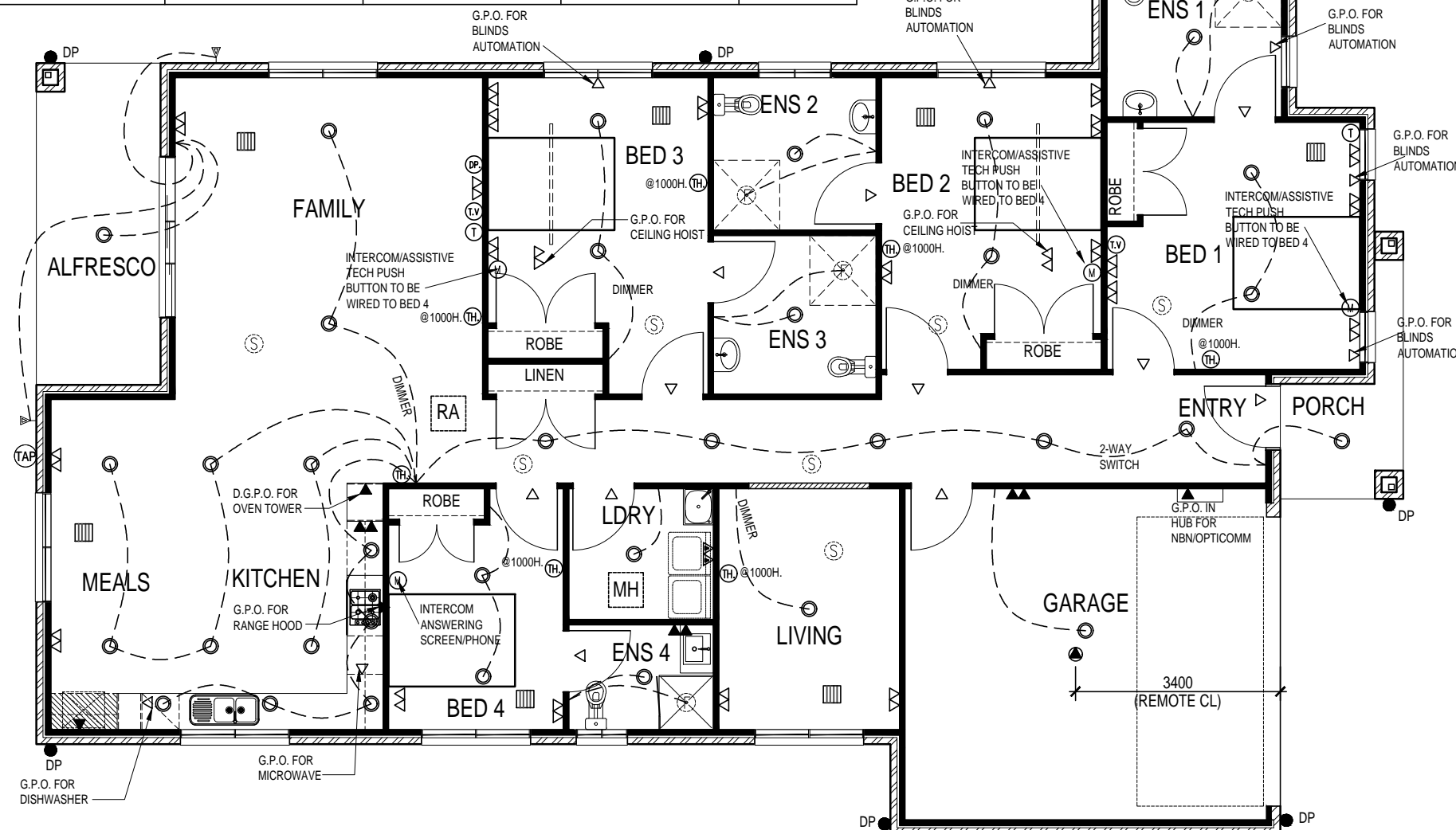
ALL EXTERNAL WINDOWS AND DOOR ARE TO BE DESIGNED AND TESTED IN ACCORDANCE WITH AS 2047, INCLUDING PROVISIONS FOR SUBSILLS AND FLASHING IN ANY PROPRIETARY SYSTEMS OFFERED FOR THIS PRODUCT  
 ALL GLAZING SHALL BE IN ACCORDANCE WITH AS 1288-2006 WHEREIN GLAZING WITHIN 500MM OF THE FLOOR LEVEL SHALL BE 5MM THICKENED ANNEALED. GLAZED DOORS ASSOCIATED SIDE PANELS SHALL BE 5.38MM LAMINATED SAFETY GLASS AND BATHROOM WINDOWS WITHIN 1.5M OF THE BATH FOR 500MM FROM THE SHOWER ENCLOSURE SHALL BE 3MM TOUGHENED SAFETY GLASS

### GENERAL NOTES:

- (LOH) ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE CLOSET PAN & THE DOORWAY.
- WET AREAS IN ACCORDANCE WITH AUST. STANDARD 3740
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5
- MAN HOLE LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT

### ELECTRICAL LEGEND:

⊙	- BATTEN HOLDER INTERNAL
●	- BATTEN HOLDER EXTERNAL
○	- LED DOWNLIGHT
⊙	- LOW VOLTAGE DOWNLIGHT
⊙	- INT. WALL MOUNTED BATTEN HOLDER 2100H
●	- EXT. WALL MOUNTED BATTEN HOLDER 2100H
⊙	- WALL MOUNTED FLOODLIGHT
⊙	- WALL MOUNTED DBL FLOODLIGHT WITH SENSOR
△	- SINGLE POWERPOINT 1000mm HIGH
△△	- DOUBLE POWERPOINT 1000mm HIGH
▲	- SINGLE POWERPOINT 1100mm HIGH
▲▲	- DOUBLE POWERPOINT 1100mm HIGH
▲	- SINGLE POWERPOINT 1500mm HIGH
▲▲	- DOUBLE POWERPOINT 1500mm HIGH
⊙	- GARAGE DOOR REMOTE GPO
⊙	- EXHAUST FAN
⊙	- SMOKE DETECTOR (HARD WIRED)
⊙	- DOUBLE EXTERNAL GPO
⊙	- TV POINT
⊙	- TELEPHONE POINT
⊙	- METER BOX
⊙	- GAS METER
⊙	- HOT WATER SERVICE
⊙	- 600L DOUBLE FLUORESCENT LIGHT
⊙	- 2 LIGHT HEAT/FAN COMBO
⊙	- 4 LIGHT HEAT/FAN COMBO
⊙	- EVAPORATIVE COOLER OUTLET (APPROX)
⊙	- DUCTED HEATING OUTLET (APPROX)
⊙	- DATA POINT
⊙	- THERMOSTAT
⊙	- VIDEO INTERCOM EXTERNAL SCREEN LOCATION
⊙	- VIDEO INTERCOM INTERNAL SCREEN LOCATION
⊙	- ISOLATION SWITCH
⊙	- MANHOLE LOCATION



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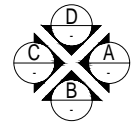
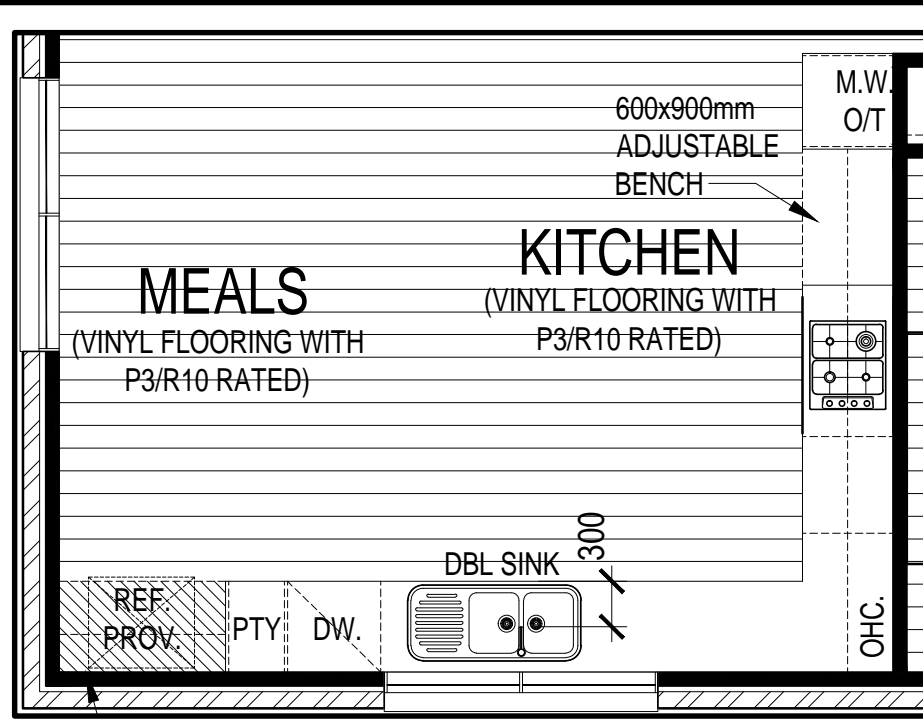
### ELECTRICAL PLAN

CUSTOM PLAN 28.8 SQ  
 FACADE: CUSTOM FACADE  
 MASTER ISSUED: 30.07.2021  
 DRAWN: CN  
 CHECK: CM  
 SCALE: 1:100  
 PAGE: 8 of 11

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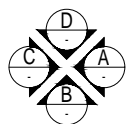
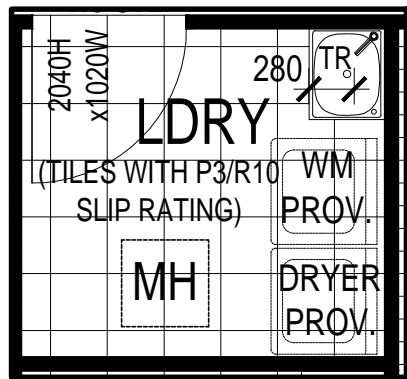




### KITCHEN

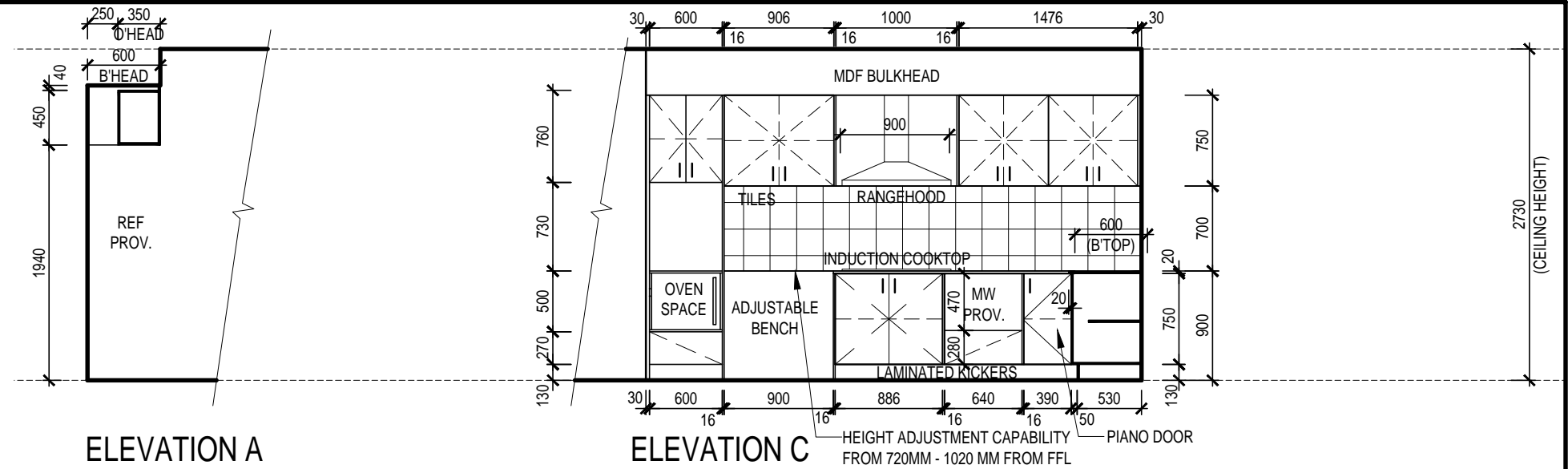
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**NOTE**  
 D PULL CUPBOARD HANDLES LOCATED TOWARDS THE TOP OF BELOW-BENCH CUPBOARDS;  
 D PULL CUPBOARD HANDLES LOCATED TOWARDS THE BOTTOM OF OVERHEAD CUPBOARDS.



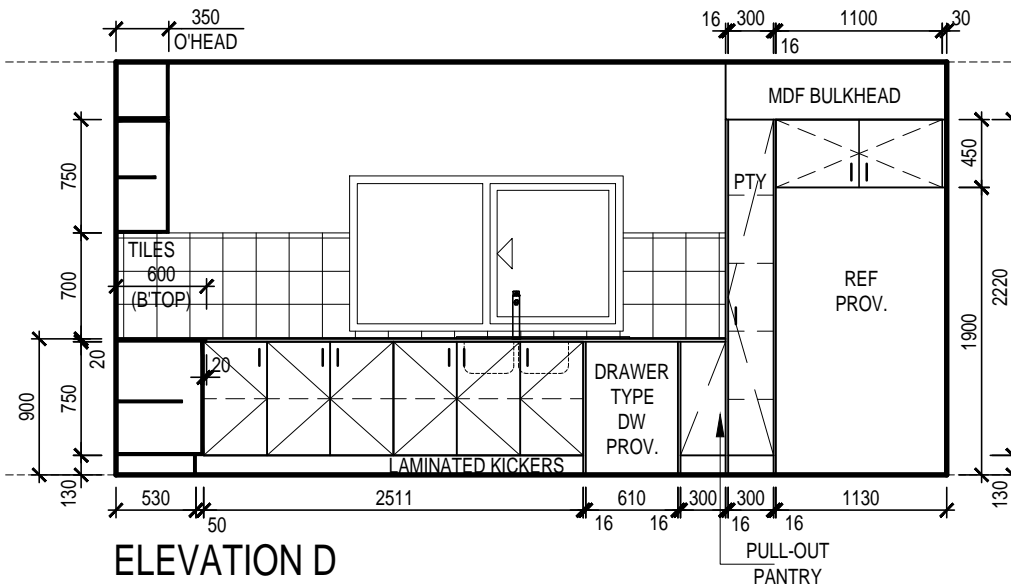
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ELEVATION A

ELEVATION C



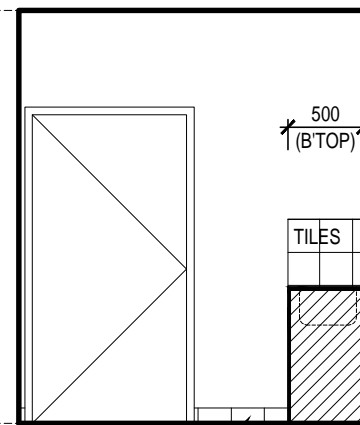
ELEVATION D

**NOTE**  
 SOFT CLOSING CABINERY IN KITCHEN

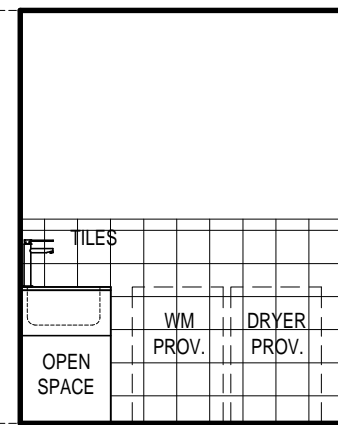
**NOTE**  
 INTERNAL ELEVATIONS ARE DRAWN TO PLASTER

**NOTE**  
 RANGEHOOD TO BE VENTED EXTERNALLY

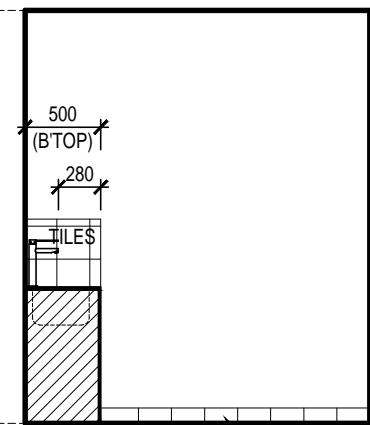
**NOTE**  
 PROVIDE 12mm VILABOARD TO ALL WET AREAS (NO PLASTER WALLS)



ELEVATION B



ELEVATION C



ELEVATION D

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#### INTERNAL ELEVATIONS

**CUSTOM PLAN 28.8 SQ**

FACADE: CUSTOM FACADE

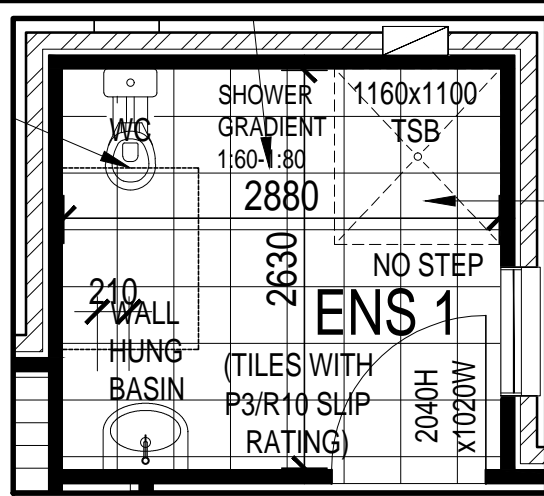
MASTER ISSUED: 30.07.2021  
 SCALE: 1:50

DRAWN: CN  
 CHECK: CM  
 PAGE: 9 of 11

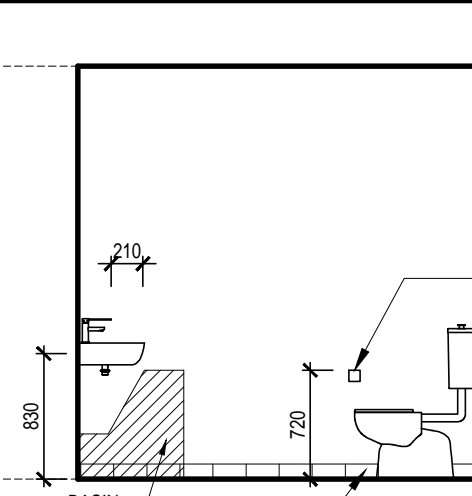
#### CLIENT

NEHIL A. MODI & NRUPA N. MODI  
 PRAFULKUMAR D. PATEL & KALPANABEN A. PATE  
 ADDRESS/ESTATE  
 LOT 5034, 20 HOLLYBROOK STREET,  
 MELTON SOUTH

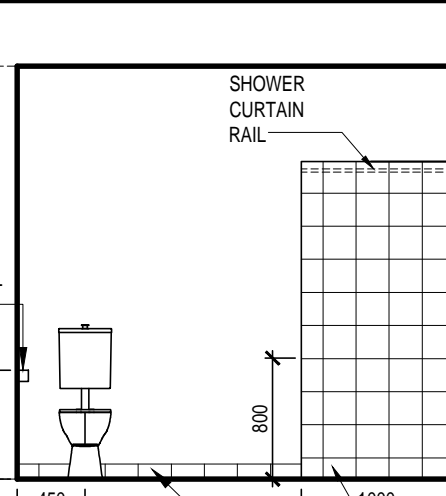




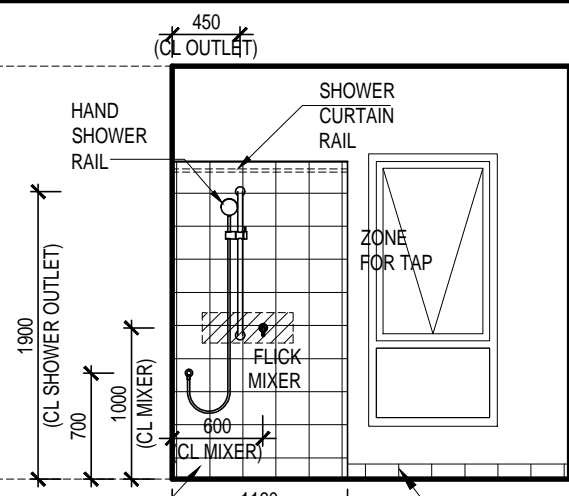
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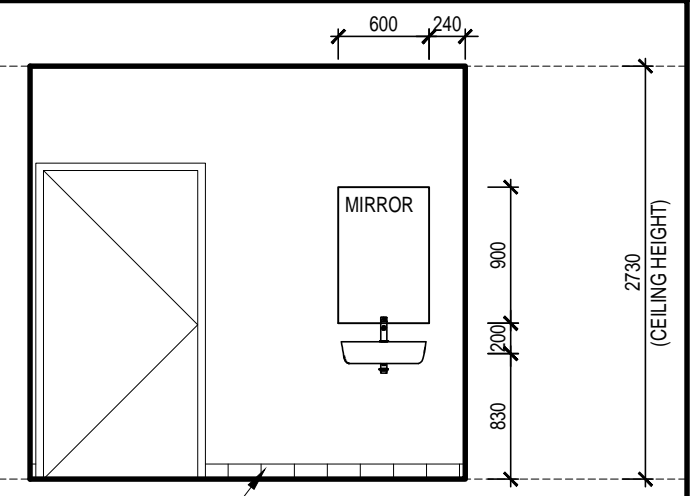
ELEVATION A



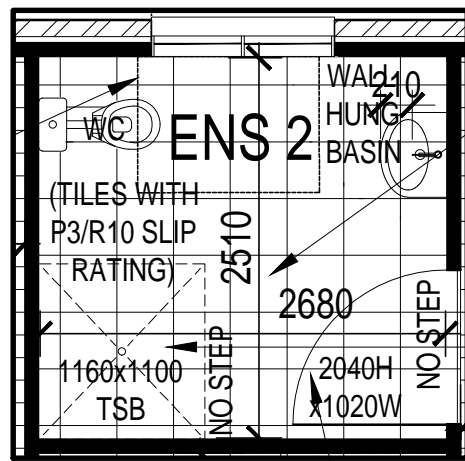
ELEVATION B



ELEVATION C

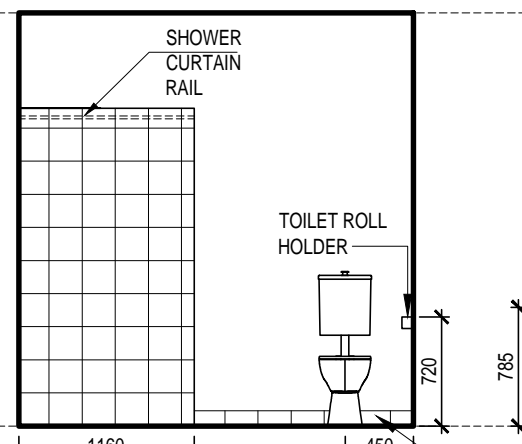


ELEVATION D

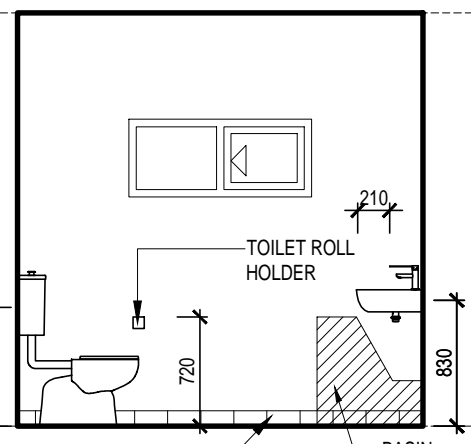


**ENS 2**  
SCALE 1:50  
SHOWER GRADIENT 1:60-1:80

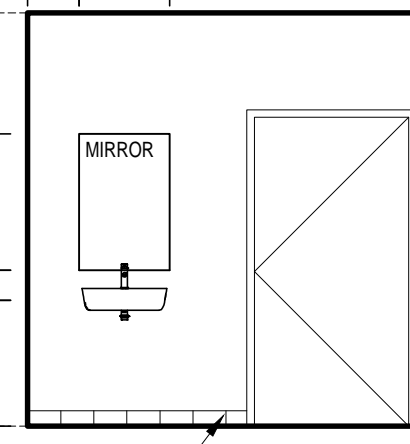
- NOTE**  
PROVIDE SANITARY FITTING/ ITEMS AS PER SDA
- NOTE**  
SOFT CLOSING TOILET SUITE
- NOTE**  
PROVIDE 12mm VILABOARD TO ALL WET AREAS (NO PLASTER WALLS)



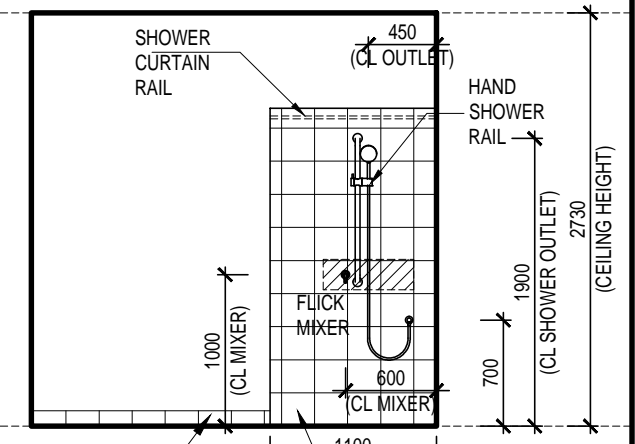
ELEVATION A



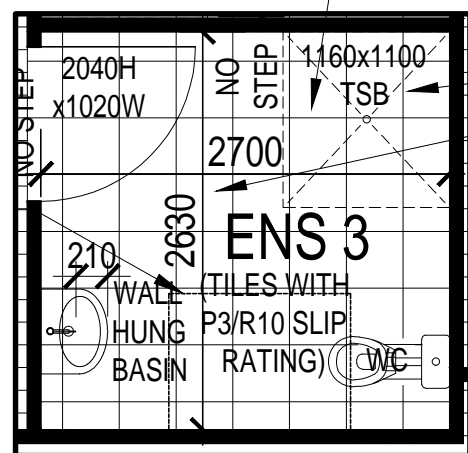
ELEVATION B



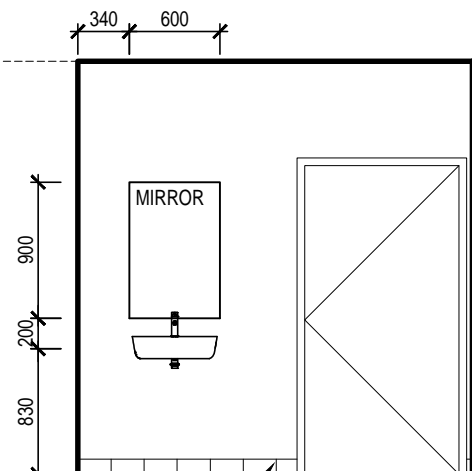
ELEVATION C



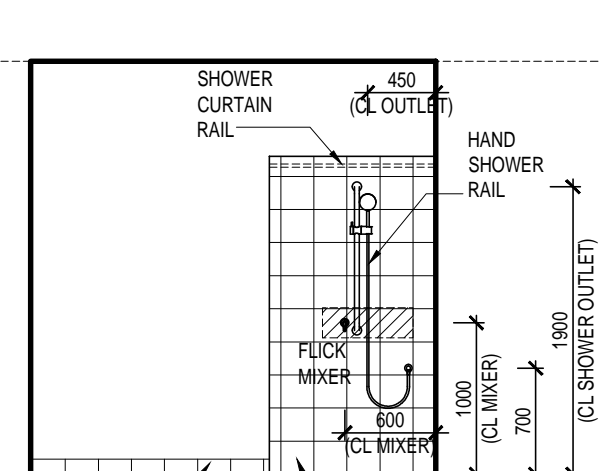
ELEVATION D



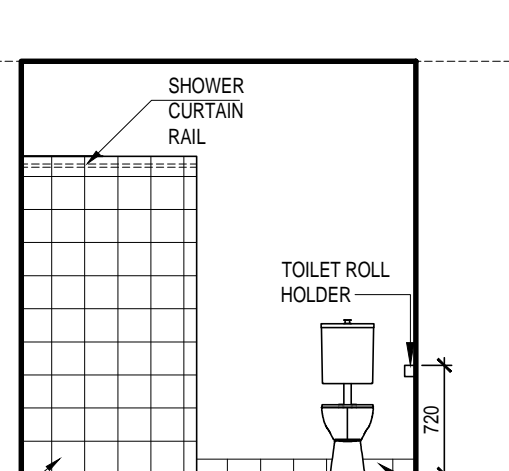
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SCALE 1:50



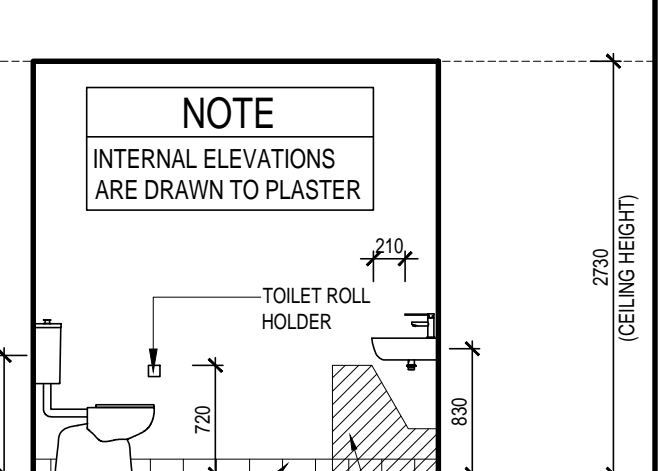
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

**NOTE**  
INTERNAL ELEVATIONS ARE DRAWN TO PLASTER

**IMPORTANT NOTES:**

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- IMPORTANT NOTE: FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS
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**PLEASE READ CAREFULLY**

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SIGNED.....DATE.....  
SIGNED.....DATE.....  
WITNESSED.....DATE.....

AMENDMENTS		
No.	DATE	DESCRIPTION
A	18.04.22	CDS CN
B	19.05.22	MARKUP CN
C	30.05.22	MARKUP CN
D	06.06.22	MARKUP CN
E	18.06.22	MARKUP CN

**INTERNAL ELEVATIONS**

**CUSTOM PLAN 28.8 SQ**

FAÇADE: CUSTOM FAÇADE

MASTER ISSUED: 30.07.2021  
SCALE: 1:50

DRAWN: CN  
CHECK: CM

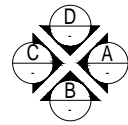
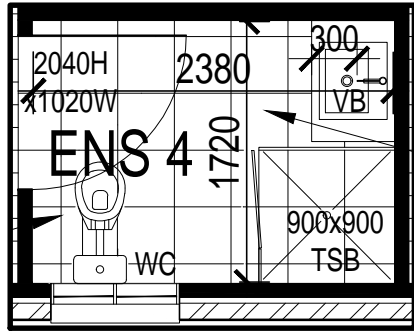
PAGE: 10 of 11

**CLIENT**

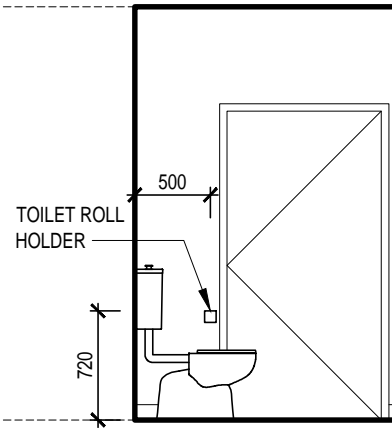
NEHIL A. MODI & NRUPA N. MODI  
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ADDRESS/ESTATE  
LOT 5034, 20 HOLLYBROOK STREET,  
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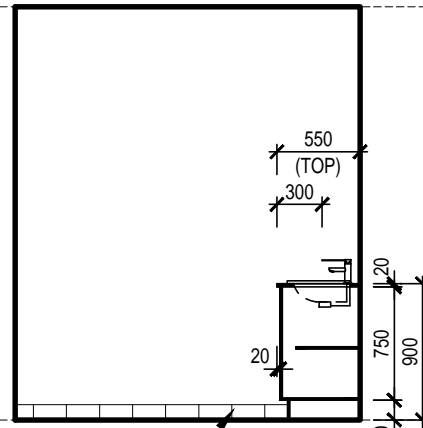




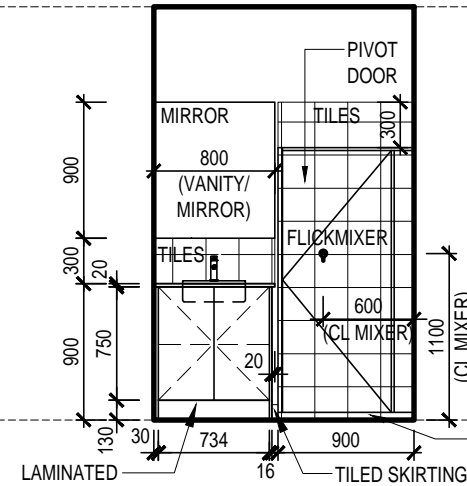
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SCALE 1:50



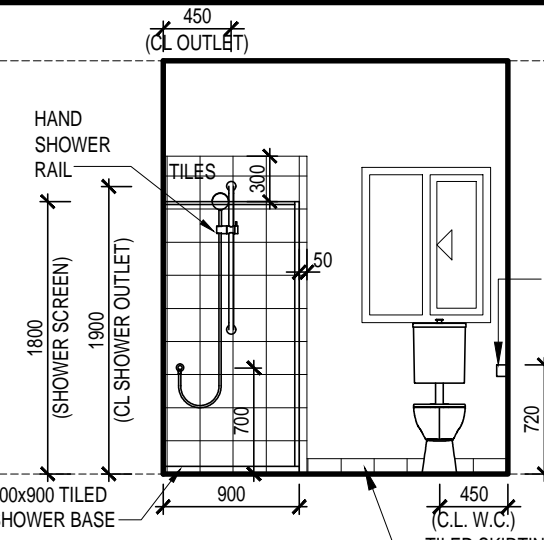
ELEVATION A



ELEVATION B



ELEVATION C

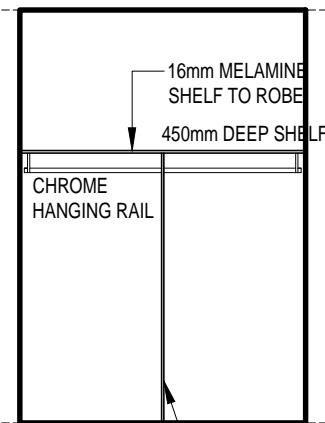


ELEVATION D

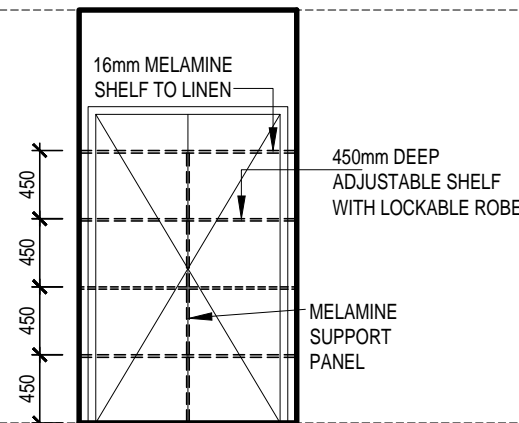
**NOTE**  
INTERNAL ELEVATIONS ARE DRAWN TO PLASTER

**NOTE**  
SOFT CLOSING TOILET SUITE

2730 (CEILING HEIGHT)



TYPICAL ROBE ELEVATION



TYPICAL LINEN ELEVATION

**NOTE**  
PROVIDE 12mm VILABOARD TO ALL WET AREAS (NO PLASTER WALLS)

**NOTE**  
PROVIDE SANITARY FITTING/ ITEMS AS PER SDA

2730 (CEILING HEIGHT)

**IMPORTANT NOTES:**

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**INTERNAL ELEVATIONS**

**CUSTOM PLAN 28.8 SQ**

FACADE: **CUSTOM FACADE**

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CHECK: CM

**CLIENT**

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